

THIS DOCUMENT IS INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.

TOD HANSON
REG.# 14934

A NEW FACILITY FOR

GREGG COUNTY - PARKING GARAGE & OFFICE

100 E. METHVIN ST.
LONGVIEW, TX 75601

SCOPE SET

PROJECT NO.: 20011

DATE: 06/02/2022

CIVIL
BALLARD & BRAUGHTON ENG.
3815 OLD BULLARD ROAD
TYLER, TEXAS 75701
903.531.9800

MEP
WALKER CONSULTANTS
2525 BAY AREA BLVD, SUITE 400
HOUSTON, TEXAS 77058
281.280.0068

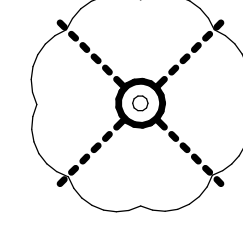
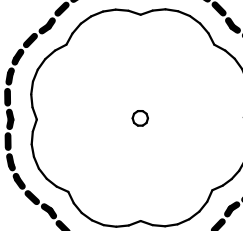


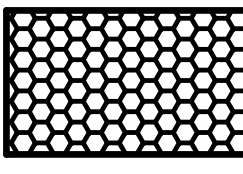
STRUCTURE
WALKER CONSULTANTS
2525 BAY AREA BLVD, SUITE 400
HOUSTON, TEXAS 77058
281.280.0068

2570 RIVER PARK PLAZA
SUITE 100
FORT WORTH, TX 76116
817-377-3600
www.schwarz-hanson.com

© SCHWARZ-HANSON LTD.



DEMOLITION PLAN LEGEND:

-  EXISTING TREE TO BE REMOVED
-  EXISTING TREE TO BE PRESERVED AND PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASES
-  EXISTING SIDEWALK TO BE REMOVED
-  EXISTING PAVEMENT AND CONCRETE CURB TO BE REMOVED
-  EXISTING BUILDING TO BE DEMOLISHED

- GENERAL DEMOLITION NOTES:**
1. CONTRACTOR TO CONDUCT PRE-DEMOLITION MEETING WITH ARCHITECT, AND CITY REPRESENTATIVES PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
 2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN APPROVED LANDFILL.
 3. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
 4. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ONTO ADJACENT SURFACES AND AREAS.
 5. DO NOT BURN DEMOLISHED MATERIALS ON SITE.
 6. SITE AND BUILDING DEMOLITION MAY INCLUDE ITEMS NOT REPRESENTED ON THESE DRAWINGS. CONTRACTOR MUST VERIFY ALL ITEMS TO BE DEMOLISHED.
 7. CONTRACTOR TO COVER AND PROTECT EXISTING EXTERIOR FINISHES TO REMAIN ADJACENT TO ITEMS TO BE REMOVED.
 8. REMOVE DOMESTIC WATER AND SEWER PIPING TO POINT WHERE SERVICE ENTERS THE BUILDING.
 9. REMOVE ALL ELECTRICAL COMPLETELY. PANELS INCLUDED, BACK TO CONDUIT WHERE SERVICE ENTERS THE BUILDING.
 10. REMOVE ALL HVAC COMPLETELY, INCLUDING ALL RTU, EXHAUST FANS, DUCTWORK, ETC.
 11. REMOVE ALL PHONE/COMM. COMPLETELY BACK TO SERVICE ENTRANCE. VERIFY WITH COMM. PROVIDER.
 12. REMOVE ALL EXISTING WINDOW COVERINGS COMPLETELY.
 13. REMOVE ALL ROOFING AND FLASHING COMPLETELY. REMOVE ALL ROOF DRAINS AND PIPE BACK TO POINT WHERE DRAINS TIE-IN TO UNDERGROUND.
 14. VERIFY WITH THE OWNER IF ANY DEMO ITEM IS TO BE SALVAGED.
 15. CONTRACTOR MUST FILE A NOTIFICATION OF DEMOLITION WITH TCEQ PRIOR TO DEMOLITION.
 16. REMOVE AND RECYCLE ALL LAMPS, BALLASTS AND FREON PRIOR TO DEMOLITION.
 17. PER TEXAS HISTORIC COMMISSION REQUIREMENTS, CONTRACTOR MUST COORDINATE WITH STONE POINT SERVICES, CONTACT TODD MCMANIS (tdm@stonepointervices.com 930-851-3103) PRIOR TO DEMOLITION FOR MONITORING DURING PAVEMENT REMOVAL. FURTHERMORE, IF DEEPER EXCAVATION A HISTORIC FEATURE IS IDENTIFIED, WORK SHALL STOP AND THE "THC" NOTIFIED.
 18. CONTRACTOR RESPONSIBLE FOR REVIEWING AND COORDINATING ANY DEMOLITION OR NEW WORK WITH SWPECO IN THE E. BANK ALLEY.

A NEW FACILITY FOR
GREGG COUNTY - PARKING GARAGE & OFFICE
 100 E. METHVIN ST.
 LONGVIEW, TX 75601

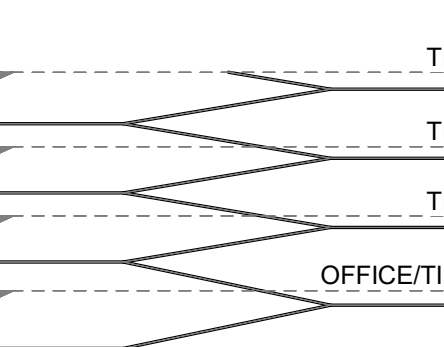
THIS DOCUMENT IS INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.

TOD HANSON
 REG # 14934

PROJECT NO.: 20011
 DATE: 06/02/2022

REVISION SCHEDULE

Δ	Description	Date

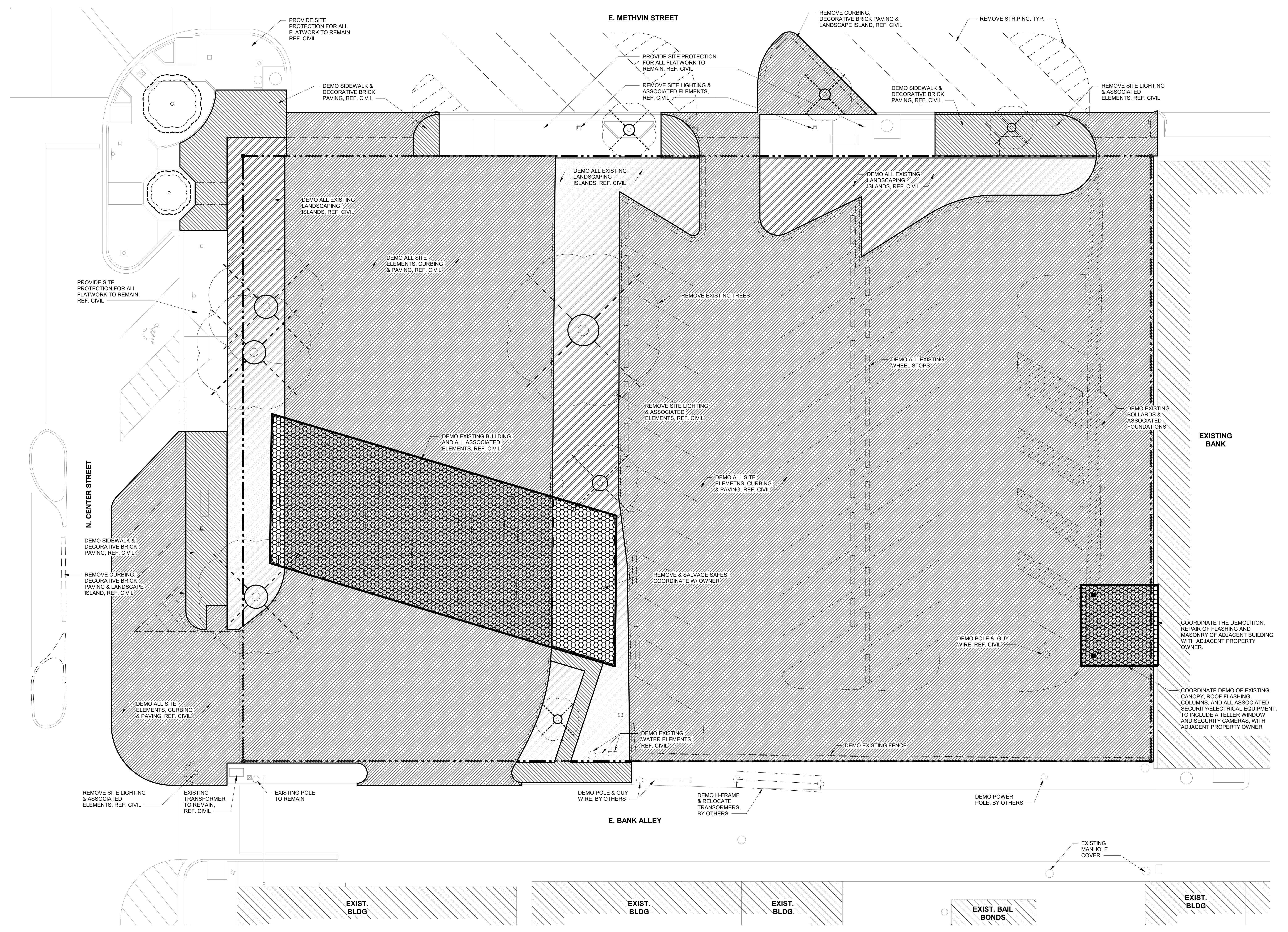


SHEET NAME

DEMOLITION SITE PLAN

SHEET NO.

A1.0



NORTH
DEMOLITION SITE PLAN | 1
 SCALE: 1" = 10'-0" A1.0

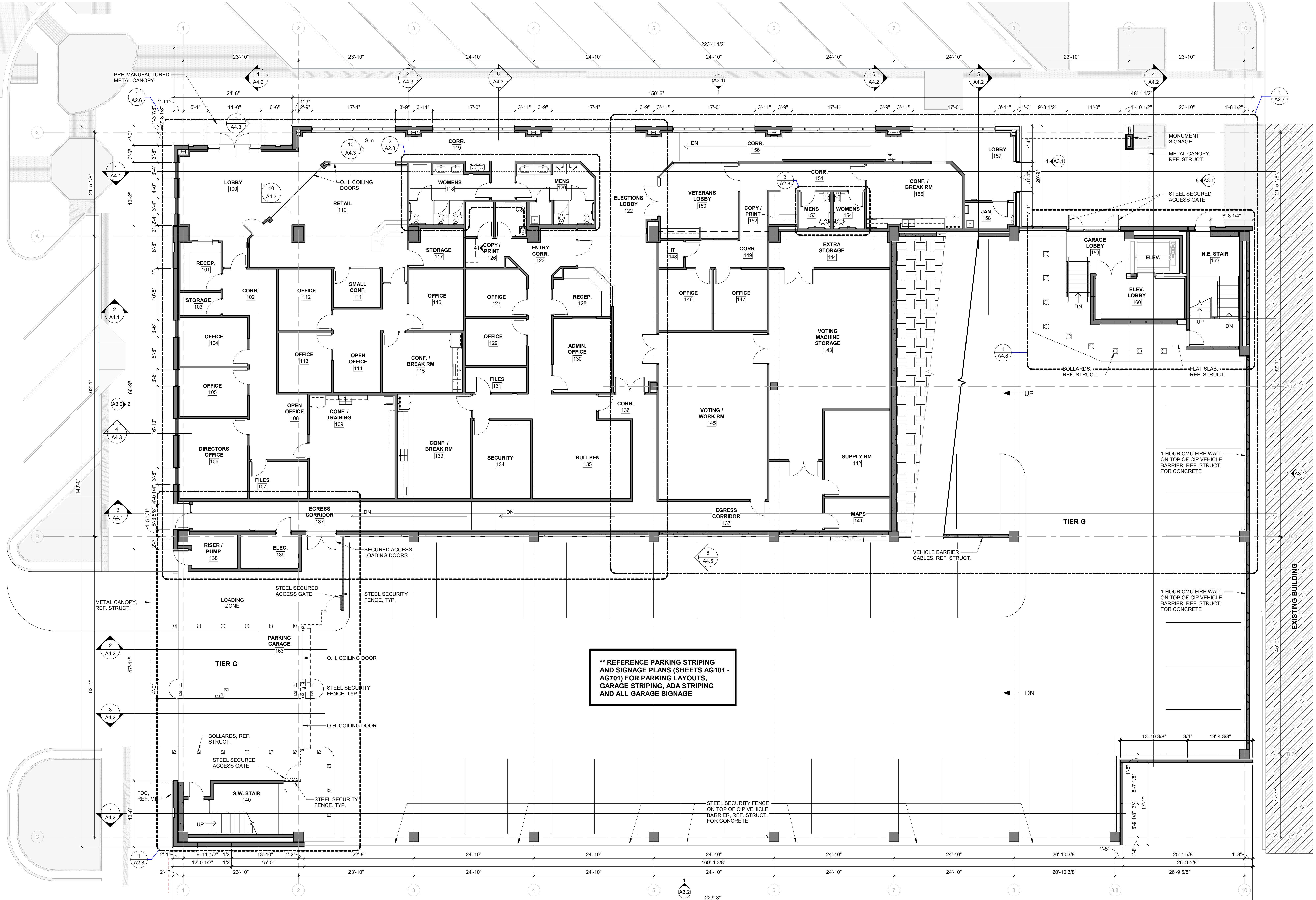
FLOOR PLAN LEGEND:

- BUILDING SECTION
- WALL SECTION
- ENLARGED DETAIL REFERENCE
- ELEVATION
- ROOM TAG
- DOOR SYMBOL
- WALL TYPE
- STOREFRONT SYMBOL

GENERAL NOTES

1. ALL DIMENSIONS ARE FROM STUD TO CMU FACE, UNLESS NOTED OTHERWISE.
2. CONTRACTOR SHALL VISIT THE CONSTRUCTION SITE PRIOR TO BIDDING AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
3. CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
4. LOCATE ALL DOORS 4" FROM THE NEAREST CORNER TO OUTSIDE EDGE OF FRAME UNLESS NOTED OTHERWISE.
5. G.C. TO VERIFY ROUGH OPENING DIMENSION REQUIREMENTS OF ALL DOORS AND WINDOWS.
6. PROVIDE ALL NECESSARY WOOD FRAMING, BRACING, BLOCKING, NAILERS AND SHIMS REQUIRED TO INSTALL ALL DOOR FRAMES, MEP WORK, MILLWORK, ACCESSORIES AND MISCELLANEOUS FIXTURES AND FITTINGS. FIRE TREATED PER CODE.
7. CONTRACTOR SHALL INSTALL DOORS, FRAMES AND FINISH HARDWARE. ALL DOORS TO HAVE HANDICAP ACCESSIBLE LEVER HANDLES, U.N.O. ALL HARDWARE TO BE INSTALLED IN ACCORDANCE WITH T.A.S. GUIDELINES.
8. ANY BUILDING WALL OR ROOF PENETRATIONS TO BE WARRANTED AND WATER/TIGHT/WEATHERPROOF. ALL ROOFING PENETRATIONS (EQUIPMENT, STACKS, ETC.) TO BE FLASHED AND RE-ROOFED PER ROOFING MANUFACTURER'S SPECIFICATIONS AND WARRANTIES.
9. CONTRACTOR TO PROVIDE EXIT LIGHTS, SMOKE DETECTORS, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, ETC. PER CODE AND AS DIRECTED BY FIRE MARSHAL HAVING JURISDICTION.
10. CONTRACTOR TO COORDINATE INSTALLATION OF ALL OWNER-PROVIDED ITEMS/SYSTEMS WITH OWNER AND OTHER CONTRACTORS.
11. PARTITION RATINGS: (REFER WALL TYPES SCHEDULE FOR DETAILED INFORMATION), STAIRS, VERTICAL SHAFTS/CHASES, ELEVATOR HOISTWAYS - 1 HOUR.
12. PARTITION RATINGS: (REFER WALL TYPES SCHEDULE FOR DETAILED INFORMATION).
13. PROVIDE ALL FIRE PROOFING & FIRE STOPPING AT STRUCTURAL MEMBERS, RATED ASSEMBLIES, ETC. AS REQUIRED. PROVIDE SYSTEMS AND ASSEMBLIES THAT MEET UL LABELS.
14. CONTRACTOR(S) SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. ENSURE MINIMUM DIMENSION CLEARANCES ARE MAINTAINED FOR MEP SYSTEMS, FIRE PROOFING, ACCESSIBILITY, EGRESS, ETC. VERIFY LAYOUT VERTICALLY AND HORIZONTALLY FOR FOR (DUCTS, PIPING, CONDUIT, ETC.). COORDINATE ANY DISCREPANCIES WITH OWNER AND ARCHITECT.
15. ALL CONTRACTORS ARE TO COORDINATE THEIR SYSTEMS WITH OTHER SYSTEMS AND CONSTRUCTION THAT MAY BE ADJOINING OR AFFECTED BY WORK TO BE DONE.
16. CONTRACTOR(S) ARE RESPONSIBLE TO VERIFY THAT ALL WORK CONFORMS TO APPLICABLE BUILDING AND LIFE SAFETY, ACCESSIBILITY, ENERGY, AND LOCAL CODES AND ORDINANCES.

17. DO NOT SCALE FROM DRAWINGS FOR CONSTRUCTION PURPOSES.
18. ALL SYSTEMS, PRODUCT, FIXTURES, EQUIPMENT, SPECIALTIES, AND FINISHES TO BE INSTALLED PER CODE AND AS SPECIFIED, AS WELL AS PER INDUSTRY STANDARDS AND MANUFACTURER'S INSTRUCTIONS/RECOMMENDATION - WHETHER NOTED IN THE DOCUMENTS OR NOT.
19. HARDWARE IS GENERALLY SPECIFIED. A DETAILED DOOR AND HARDWARE SCHEDULE SHALL BE SUBMITTED CLEARLY INDICATING ALL COMPONENTS NEEDED FOR EGRESS, ACCESSIBILITY, SECURITY, DURABILITY, AND EASE OF OPERATION. PROVIDE SAMPLES/CUT SHEETS OF EACH COMPONENT.
20. ALL WORK SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE CURRENT TEXAS ACCESSIBILITY STANDARDS (TAS). THE CONTRACTOR SHALL CALL FOR THE SITE INSPECTION BY THE RAS ONCE CONSTRUCTION IS COMPLETED. ANY NON-COMPLYING WORK SHALL BE REMEDIATED AS REQUIRED WITHOUT ADDITIONAL EXPENSE.
21. ALL MATERIAL USED IN THE PROJECT SHALL MEET THE FLAME SPREAD INDEX AND SMOKE DEVELOPED INDEX PER CODE. ALL FIRE BLOCKING, FIRE STOPPING, FIRE RATED ASSEMBLIES, FIRE SAFING, FIRE PROOFING, DRAFT STOPPING SHALL BE MAINTAINED AS REQUIRED BY CODE WHETHER SPECIFICALLY DETAILED OR SPECIFIED OR NOT.
22. NO MATERIAL CONTAINING HAZARDOUS MATERIALS SHALL BE UTILIZED ON THE PROJECT. IF CONTRACTOR SUSPECTS ANY HAZARDOUS MATERIALS PRESENT AT THE PROJECT SITE, WORK SHALL STOP AND THE OWNER NOTIFIED IMMEDIATELY.
23. ALL FLOOR SURFACES SHALL BE BROUGHT TO A LEVEL, SMOOTH SURFACE AT EACH FINISH FLOOR ELEVATION READY TO RECEIVE FUTURE OR SCHEDULED FINISHES SO THAT THE FINAL FLOORING WILL MEET THE ADAPTAS REQUIREMENTS.
24. ALL MATERIAL LOCATED IN THE FIRE RATED PARTITIONS SHALL BE FIRE RATED PER CODE REQUIREMENTS.
25. REFERENCE STRUCTURAL DRAWINGS FOR FLOOR SLOPES TO DRAIN.
26. REFER TO CIVIL DRAWINGS FOR EXTERIOR GRADE ELEVATIONS.
27. REFER TO STRUCTURAL DRAWINGS FOR RAMP AND SLAB ELEVATIONS.
28. UNLESS NOTED OTHERWISE, WALLS SHALL EXTEND TO THE UNDERSIDE OF ROOF, FLOOR SLAB OR STRUCTURAL FRAMING ABOVE AND BE SEALED IN ACCORDANCE WITH THE WALL TERMINATION DETAILS ON SHEET G0.05. FIRE STOP WALLS IN ACCORDANCE WITH THE SPECIFICATION SECTION 078400 FIRESTOPPING TO SEAL THE TOPS OF FIRE BARRIERS AND WALL WHICH ARE REQUIRED TO RESIST THE PASSAGE OF SMOKE. REFER TO THE LIFE SAFETY PLANS FOR IDENTIFICATION OF ALL SMOKE AND FIRE WALL CONDITIONS.
29. COLUMNS GRIDS ARE FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR COLUMN LOCATIONS.
30. UNLESS NOTED OTHERWISE, THE SAME WALL TYPE NEXT TO A DOOR OR OPENING SHALL CONTINUE OVER THE DOOR OR OPENING.
31. ALL CEILING HEIGHTS SHALL BE AS INDICATED ON THE PLANS UNLESS MECHANICAL, ELECTRICAL OR STRUCTURAL COMPONENTS PREVENT FULL HEIGHT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN THE EVENT OF A CONFLICT.
32. ALL EXPOSED CMU SHALL BE PAINTED. COLOR TO BE SELECTED BY ARCHITECT.
33. ALL REFERENCES TO AHJ CAN BE DISREGARDED. ALL BUILDING ELEMENTS SHALL MEET STATE MINIMUM CODE STANDARDS.



A NEW FACILITY FOR
GREGG COUNTY - PARKING
GARAGE & OFFICE
 100 E. METHUEN ST.
 LONGVIEW, TX 75601

THIS DOCUMENT IS INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.

TOD HANSON
REG # 14934

PROJECT NO.: 20011
DATE: 06/02/2022

REVISION SCHEDULE

Δ	Description	Date

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

1-HOUR CMU FIRE WALL ON TOP OF CIP VEHICLE BARRIER, REF. STRUCT. FOR CONCRETE.

A NEW FACILITY FOR
**GREGG COUNTY - PARKING
GARAGE & OFFICE**
100 E. METHAVIN ST.
LONGVIEW, TX 75601

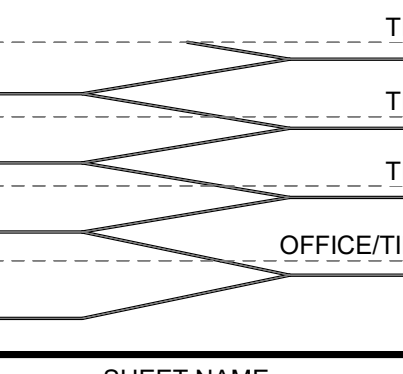
THIS DOCUMENT IS
INCOMPLETE AND MAY NOT
BE USED FOR REGULATORY
APPROVAL, PERMIT, OR
CONSTRUCTION.

TOD HANSON
REG # 14934

PROJECT NO.: 20011
DATE: 06/02/2022

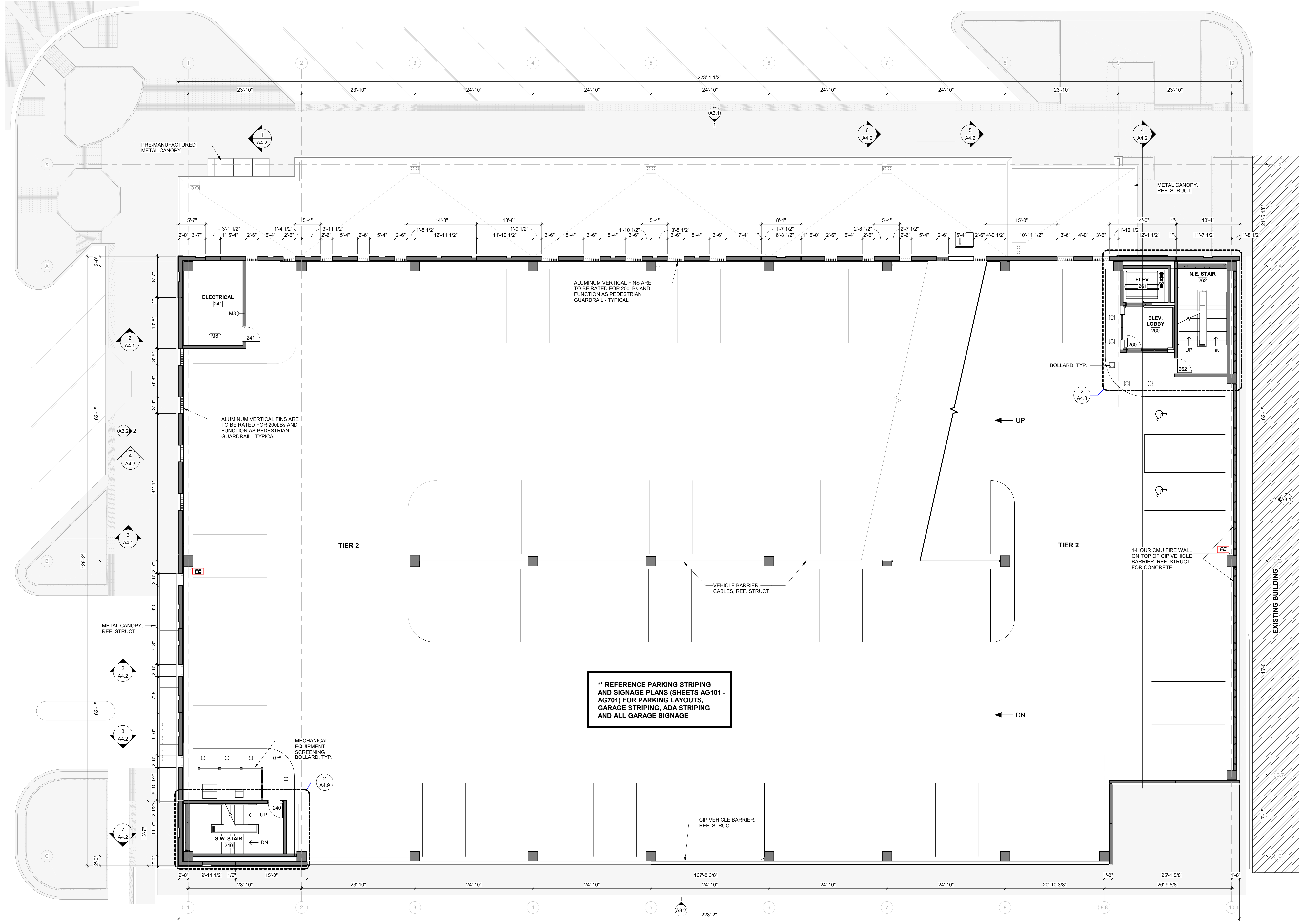
REVISION SCHEDULE

Δ	Description	Date



SHEET NAME
**FLOOR PLAN - GARAGE
TIER 2**

SHEET NO.
A2.2



A NEW FACILITY FOR
**GREGG COUNTY - PARKING
GARAGE & OFFICE**
100 E. METHUEN ST.
LONGVIEW, TX 75601

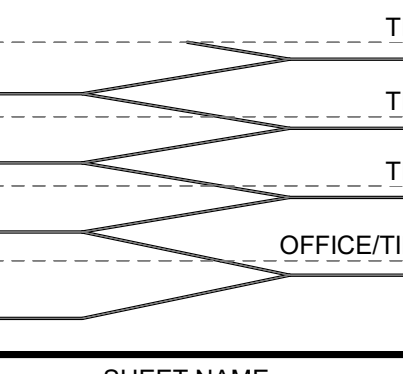
THIS DOCUMENT IS
INCOMPLETE AND MAY NOT
BE USED FOR REGULATORY
APPROVAL, PERMIT, OR
CONSTRUCTION.

TOD HANSON
REG # 14934

PROJECT NO.: 20011
DATE: 06/02/2022

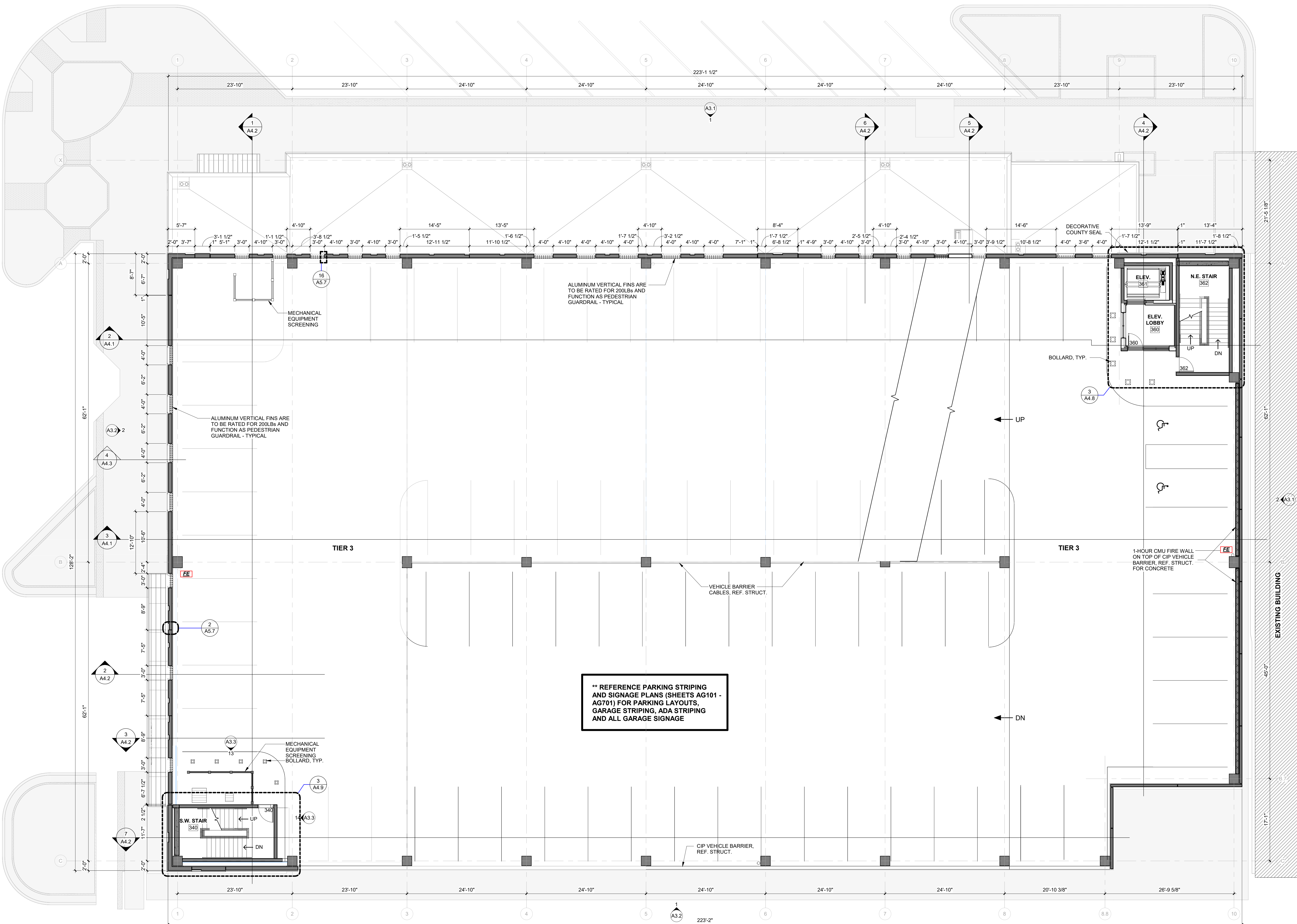
REVISION SCHEDULE

Δ	Description	Date



SHEET NAME
**FLOOR PLAN - GARAGE
TIER 3**

SHEET NO.
A2.3



**** REFERENCE PARKING STRIPING
AND SIGNAGE PLANS (SHEETS AG101 -
AG701) FOR PARKING LAYOUTS,
GARAGE STRIPING, ADA STRIPING
AND ALL GARAGE SIGNAGE**

THIS DOCUMENT IS INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.

TOD HANSON
REG # 14934

PROJECT NO.: 20011
DATE: 06/02/2022

REVISION SCHEDULE	
Δ	Description

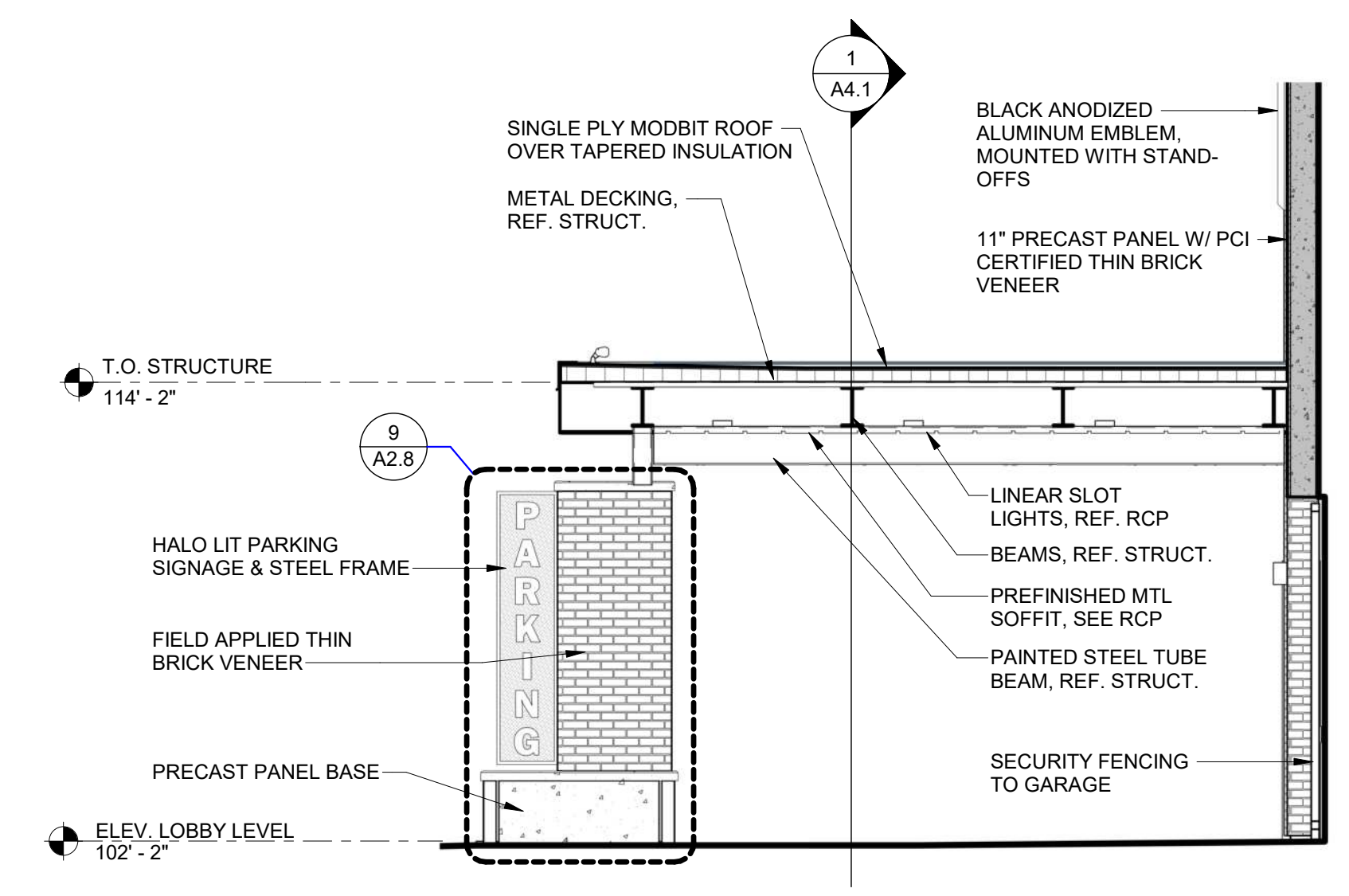
SHEET NAME

EXTERIOR ELEVATIONS

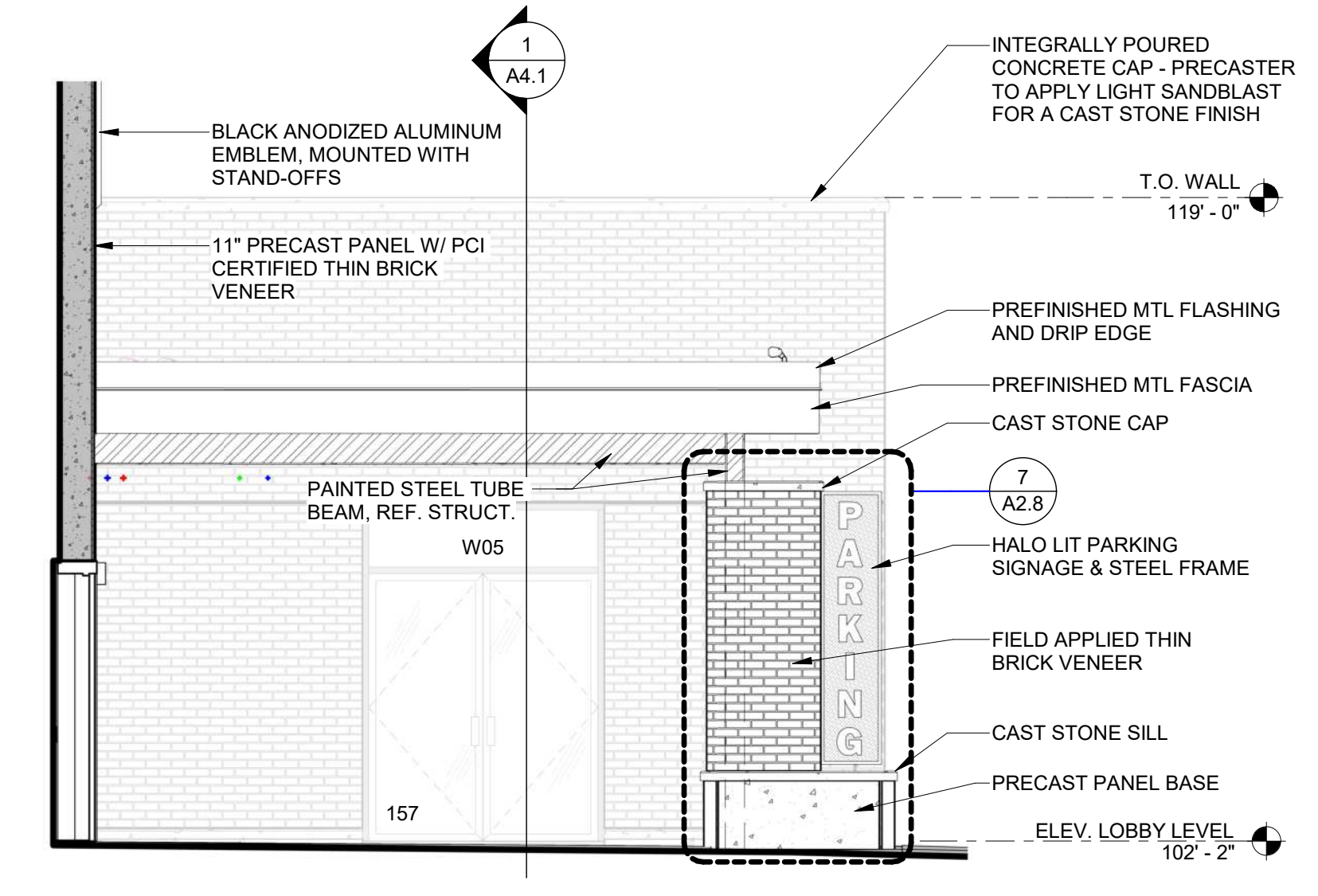
SHEET NO.

A3.1

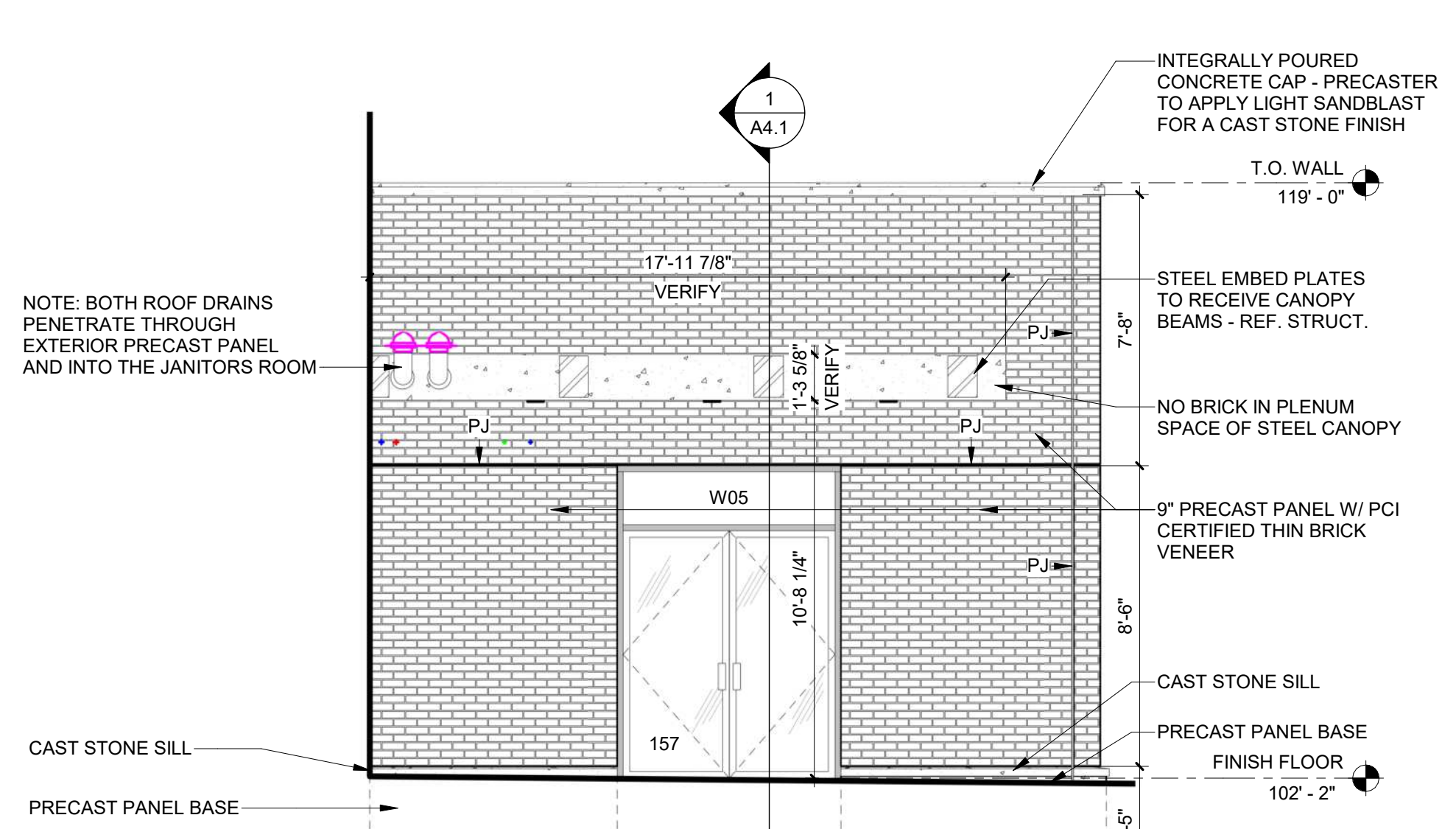
- GENERAL DOOR NOTES:**
- A. 1'-4" WIDE X 3" DEEP RECESS
 - B. 1'-4" WIDE X 2" DEEP RECESS
 - C. 1'-4" WIDE X 1" DEEP RECESS - RECESS TO BE VENEERED WITH MATCHING THIN BRICK
 - D. 2' WIDE X 3" DEEP RECESS
 - E. 2' WIDE X 2" DEEP RECESS
 - F. 2' WIDE X 3" DEEP RECESS - RECESS TO BE VENEERED WITH MATCHING THIN BRICK
 - G. 1' WIDE X 2" DEEP RECESS - RECESS TO BE VENEERED WITH MATCHING THIN BRICK
 - H. 6" DEEP X 2" WIDE VERTICAL ALUMINUM LOUVERS @ 5'-14" MAX O.C. - LOUVERS PREFINISHED CLEAR ANODIZED - MUST MEET 200LB PEDESTRIAN GUARDRAIL STANDARDS
 - I. 1' WIDE X 3" DEEP RECESS
 - J. 1' WIDE X 2" DEEP RECESS
 - K. 1' WIDE X 1" DEEP RECESS - RECESS TO BE VENEERED WITH MATCHING THIN BRICK
- NOTE: "PJ" = PANEL JOINT (AKA EXPANSION JOINT)
"CJ" = STANDARD CONTROL JOINT
"ES" = EXTERIOR SCOTCH, REF. ELEC.



WEST CANOPY & SIGNAGE ELEVATION / SECTION 6
SCALE: 1/4" = 1'-0" A3.1



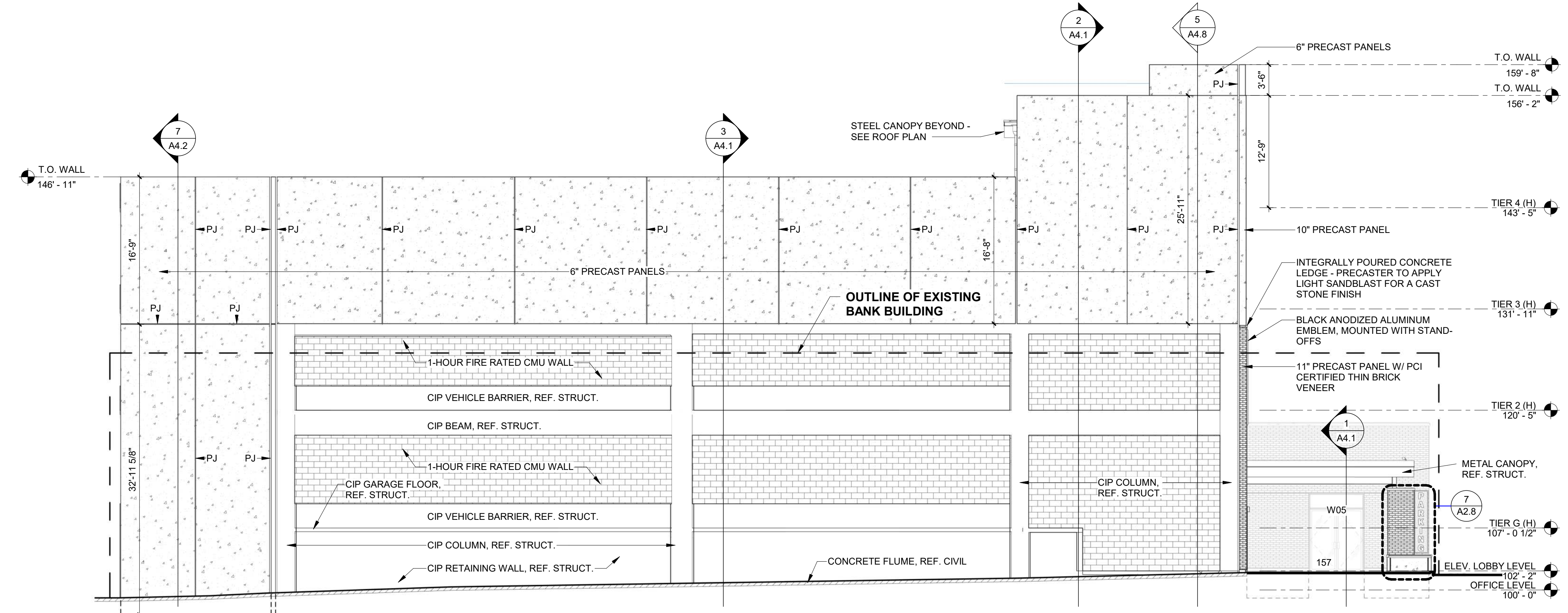
EAST CANOPY & SIGNAGE ELEVATION / SECTION 5
SCALE: 1/4" = 1'-0" A3.1



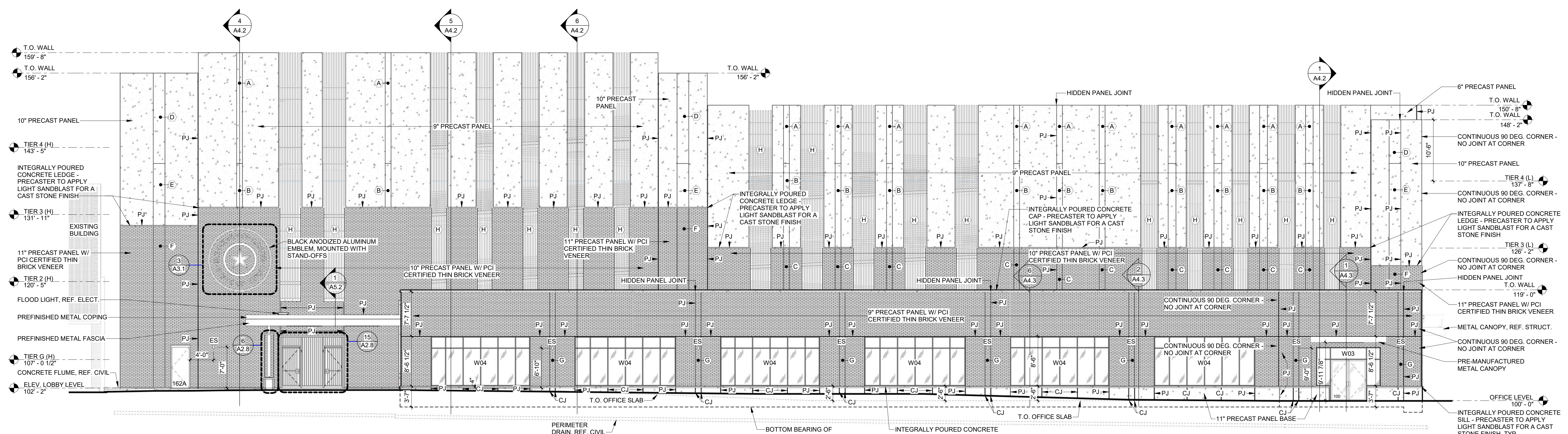
EAST ENTRANCE ELEVATION 4
SCALE: 1/4" = 1'-0" A3.1



GREGG COUNTY SEAL 3
SCALE: 1/2" = 1'-0" A3.1



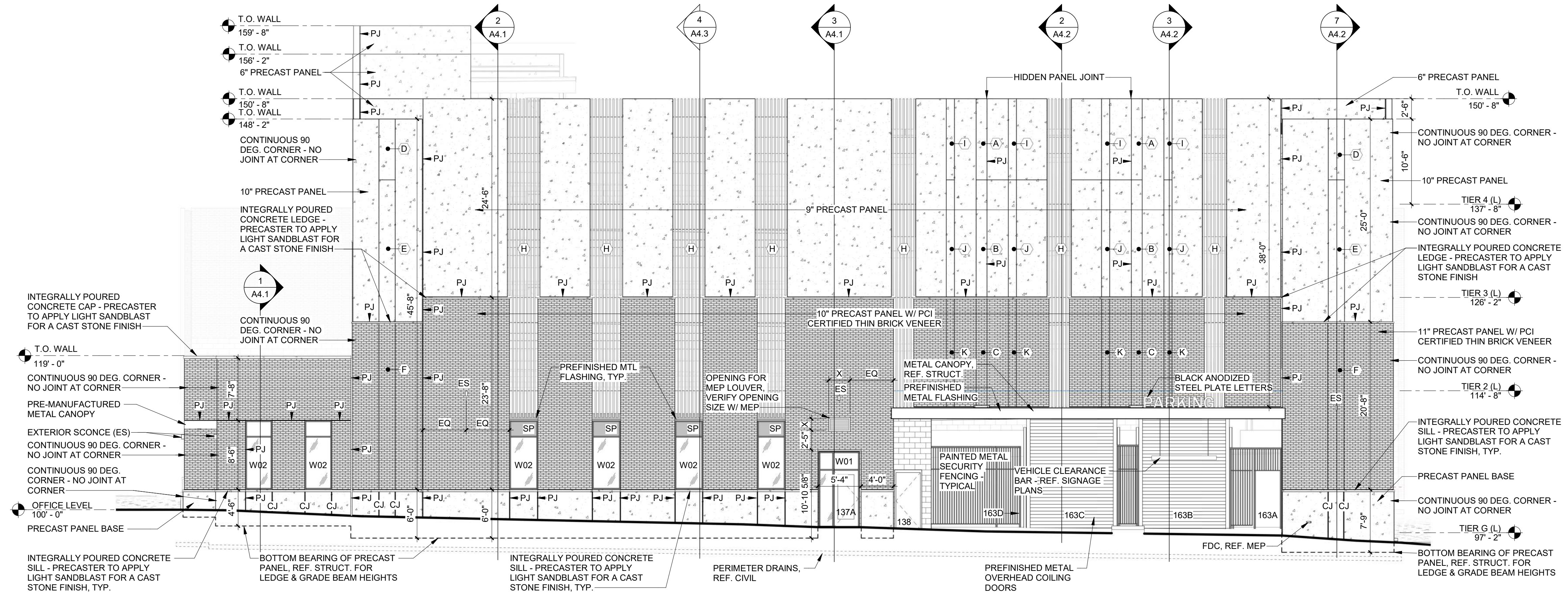
EAST ELEVATION 2
SCALE: 1/8" = 1'-0" A3.1



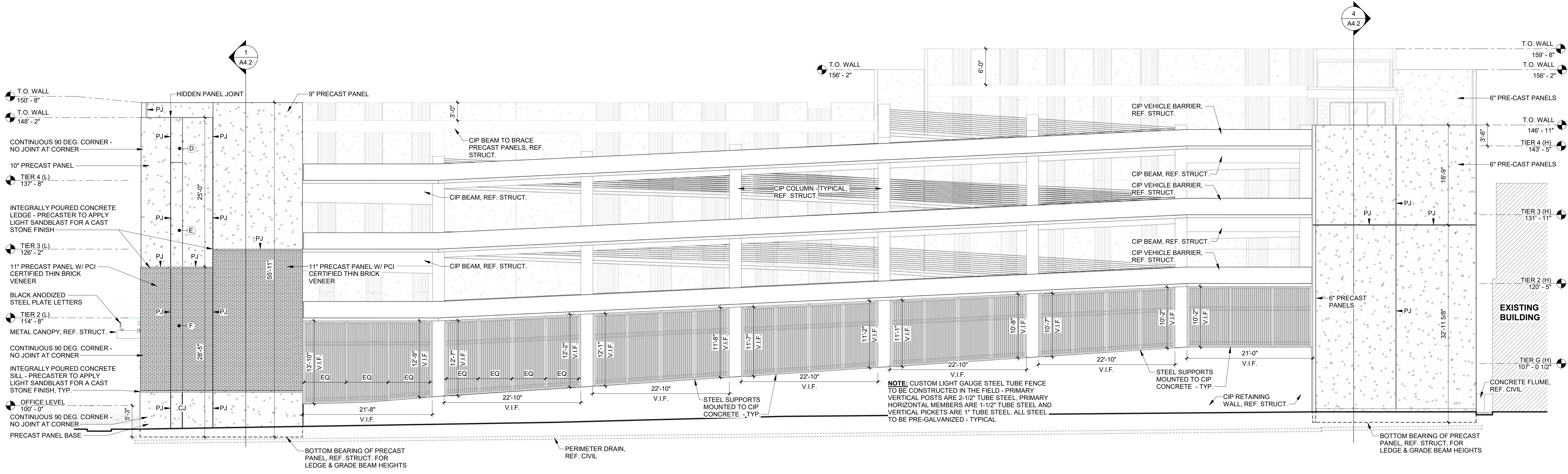
NORTH ELEVATION 1
SCALE: 1/8" = 1'-0" A3.1

- GENERAL DOOR NOTES:**
- A. 1'-4" WIDE X 3" DEEP RECESS
 - B. 1'-4" WIDE X 2" DEEP RECESS
 - C. 1'-4" WIDE X 1" DEEP RECESS - RECESS TO BE VENEERED WITH MATCHING THIN BRICK
 - D. 2" WIDE X 3" DEEP RECESS
 - E. 2" WIDE X 2" DEEP RECESS
 - F. 2" WIDE X 3" DEEP RECESS - RECESS TO BE VENEERED WITH MATCHING THIN BRICK
 - G. 1" WIDE X 2" DEEP RECESS - RECESS TO BE VENEERED WITH MATCHING THIN BRICK
 - H. 6" DEEP X 2" WIDE VERTICAL ALUMINUM LOUVERS @ 5'-14" MAX O.C. - LOUVERS PREFINISHED CLEAR ANODIZED - MUST MEET 200LB PEDESTRIAN GUARDRAIL STANDARDS
 - I. 1" WIDE X 3" DEEP RECESS
 - J. 1" WIDE X 2" DEEP RECESS
 - K. 1" WIDE X 1" DEEP RECESS - RECESS TO BE VENEERED WITH MATCHING THIN BRICK
- NOTE: "PJ" = PANEL JOINT (AKA EXPANSION JOINT)
 "CJ" = STANDARD CONTROL JOINT
 "ES" = EXTERIOR SCONCE, REF. ELECT.

A NEW FACILITY FOR
GREGG COUNTY - PARKING GARAGE & OFFICE
 100 E. METHUEN ST.
 LONGVIEW, TX 75601



WEST ELEVATION | 2
 SCALE: 1/8" = 1'-0" | A3.2



SOUTH ELEVATION | 1
 SCALE: 1/8" = 1'-0" | A3.2

THIS DOCUMENT IS INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.

TOD HANSON
 REG # 14934

PROJECT NO.: 20011
 DATE: 06/02/2022

REVISION SCHEDULE	
Δ Description	Date

SHEET NAME

EXTERIOR ELEVATIONS

SHEET NO.

A3.2