

ADDENDUM 04

Date: March 17, 2022

To: All Proposers

From: Schwarz Hanson Architects



Project Name: Gregg County Parking Garage and Office

SHA Project No.: 20011

03.17.2022

This notice shall be considered to be part of the contract documents for the project referenced above. Where provisions of the following supplemental information differ from that contained in the original contract documents, this notice shall govern and take precedence. Proposers are hereby notified to make any necessary adjustments in their estimate on account of this notice. It will be construed that each Proposer's proposal is submitted with full knowledge of all modifications and supplemental data specified therein.

Updated Items not related to specific questions:

- Sheet A1.1 was updated to revise the NE corner annotations related to the generator and power.
- For the sake of naming consistency and clarity, the date and the words "Addendum 01" located within the titleblock of all addendum sheets issued out on 03/09/2022, as a part of Addendum 03, were revised to read "Addendum 03" and re-dated to 03/09/22. We wanted to make sure it was clear that the revised sheets issued with addendum 03 were named properly in accordance with the naming structure observed on the public advertisement, here: https://www.co.gregg.tx.us/construction-manager-risk-cmar-gregg-county-parking-facility-project

NOTE: Sheets that were revised and re-issued/appended to Addendum 04 include:

(G0.1, A1.1, A2.1, A2.2, A2.3, A2.5, A2.6, A2.7, A2.8, A3.1, A3.2, A3.3, A4.2, A4.3, A5.0, A5.5, A6.1, A8.1)



Architecture RFI Questions and Responses (#s A1-A19):

Question #A1: (SUBSTITUTION REQUEST) Will the Architect allow Hager Co. to be substituted for all applicable exit device hardware?

Response #A1: We take no exception to the bidder(s) submitting Hager Co. as an alternative manufacturer substitution during the bidding phase, though final approval/rejection will be determined during construction phase.

Question #A2: (SUBSTITUTION REQUEST) Will the Architect allow Rocky Mountain Metals to be substituted for all applicable hollow metal doors, frames, and windows?

Response #A2: We take no exception to the bidder(s) submitting Rocky Mountain Metals as an alternative manufacturer substitution during the bidding phase, though final approval/rejection will be determined during construction phase.

Question #A3: (SUBSTITUTION REQUEST) Will the Architect allow Accurate Partitions to be substituted for all applicable toilet partitions?

Response #A3: We take no exception to the bidder(s) submitting Accurate Partitions as an alternative manufacturer substitution during the bidding phase, though final approval/rejection will be determined during construction phase.

Question #A4: (SUBSTITUTION REQUEST) Will the Architect allow OSHKOSH Door Co. to be substituted for all applicable wood doors?

Response #A4: We take no exception to the bidder(s) submitting OSHKOSH Door Co. as an alternative manufacturer substitution during the bidding phase, though final approval/rejection will be determined during construction phase.

Question #A5: (SUBSTITUTION REQUEST) Will the Architect allow JL Industries / Activar Inc. to be substituted for all applicable Fire Extinguishers?



Response #A5: We take no exception to the bidder(s) submitting JL Industries / Activar Inc. as an alternative manufacturer substitution during the bidding phase, though final approval/rejection will be determined during construction phase.

Question #A6: Please identify any items to be salvaged or retained for the Owner that are scheduled to be demoed.

Response #A6: Refer to Sheet A1.0

Question #A7: Door #'s 159A and 159B lists the door type as type 'G1', but I don't see a 'G1' door type/elevation on sheet A6.1. Please clarify.

Response #A7: We revised the door schedule and door type elevations on sheet A6.1 to include a Type D6 door elevation for the secured access pedestrian gates.

Please refer to the revised sheet(s) A6.1 issued/appended with Addendum 04.

Question #A8: Regarding door #123 on the door schedule, please provide all missing information.

Response #A8: We revised the door schedule on Sheet A6.1 to include the missing information regarding door 123. Storefront type W07 on Sheet A6.1 was revised to reflect the correct storefront elevation. The storefront frame associated with door # 102 was revised to type W09 on Sheet A2.6 & the door schedule on Sheet A6.1.

Please refer to the revised sheet(s) A6.1 issued/appended with Addendum 04.

Question #A9: If it's an A133 contract, how will the one line item, lump sum, dollar amount "base bid price" per the bid proposal be addressed in the contract? In short, will it be a standalone lump sum not subject to typical A133 conditions, OR will it in fact be structured as a typical A133 GMP on a cost & fee basis with additional considerations for components like general conditions?



Response #A9: Please refer to the A133 contract located at the link below: <u>https://www.aiacontracts.org/contract-documents/6232027-owner-construction-manager-as-constructor-agreement</u>

Question #A10: Note H on sheet A3.1 provides sizes for aluminum louvers, but there are no specifications providing acceptable manufacturers and performance requirements. Please provide specifications for the aluminum louvers spanning the height of the structure between precast panels.

Response #A10: Please refer Sheets A2.1-A2.5 for opening width dimensions. Please refer to Sheets A3.1-A3.2 for height dimensions and note 'H' which provides the design criteria the extruded aluminum tube (vertical fins) need to meet.

We take no exception to the bidder(s) sourcing and submitting "[blank] " as an alternative manufacturer substitution during the bidding phase, though final approval/rejection will be determined during construction phase.

Question #A11: The plans show (2) security grilles in the Lobby/Retail area that are note on the door schedule. Can you provide door or opening sizes for these?

Response #A11: Sheets A2.1 & A2.6 have been revised to indicate the correct door type numbers and section detailing for these doors. The door elevations related to these two doors, on sheet A6.1, has been revised to read door type 'D8'. Additionally, wall section 10/A4.3 was added to the set.

Please refer to the revised sheet(s) A2.1, A2.6, A4.3 & A6.1 issued/appended with Addendum 04.

Question #A12: There appears to be a discrepancy regarding a masonry wall at NE stair #362. Per attached portion of sheet A2.3, you can see a masonry wall shown just inside the exterior precast panel. However, per enlarged stair plan 3/A4.8, this masonry wall is not shown at all. Please clarify.

Response #A12: Wall was removed on sheet A2.3. Plan view 3/A4.8 is correct.

Please refer to the revised sheet(s) A2.3 issued/appended with Addendum 04.



Question #A13: Please have Architect provide an elevation of the millwork located on the West wall of 'Copy/Print' room 126.

Response #A13: We have revised elevation 27/A8.1 to show the correct millwork/annotations. Additionally, elevation 41/A8.1 was added to the set.

Please refer to the revised sheet(s) A2.6 & A8.1 issued/appended with Addendum 04.

Question #A14: I do not see a specification section for the vertical aluminum louvers (note 'H' on sheet A3.1). Please clarify.

Response #A14: Please refer Sheets A2.1-A2.5 for opening width dimensions. Please refer to Sheets A3.1-A3.2 for height dimensions and note 'H' which provides the design criteria the extruded aluminum tube (vertical fins) need to meet.

We take no exception to the bidder(s) sourcing and submitting "[blank] " as an alternative manufacturer substitution during the bidding phase, though final approval/rejection will be determined during construction phase.

Question #A15: Please have the Architect provide more information for the clouded items on the attached garage entry plan.

Response #A15: Sheet A2.8 was revised to show more annotations regarding the clouded bollards and vehicle entry equipment. Also, refer to sheet(s) AG101, S101, & E401 for further clarification.

Please refer to the revised sheet(s) A2.8 issued/appended with Addendum 04.

Question #A16: On the North elevation on sheet A3.1, three of the six large windows are indicated to be window type 'W05'; however, 'W05' shown on sheet A6.1 is simply a transom door frame. These same three windows are also incorrectly marked on enlarged plan sheets A2.6 and A2.7. Please clarify



Response #A16: We revised sheet(s) A2.6, A2.7 & A3.1 to correct the storefronts in question to read type "W04".

Please refer to the revised sheet(s) A2.6, A2.7, A3.1 & A6.1 issued/appended with Addendum 04.

Question #A17: I believe the window on the South wall of 'Veterans Lobby 150' should be type 'W18', not type 'W13'

Response #A17: We revised sheet A6.1, for the window in question, to read type "W18".

Please refer to the revised sheet(s) A6.1 *issued/appended with Addendum 04.* **Question #A18**: We recommend an allowance be identified to cover cost associated with the undefined scope to repair the existing building after removal of the canopy which is attached to the building.

Response #A18: Please refer to sheet(s) C-1 & A1.0. Note that all removal and repair work associated with the; canopy, teller window, cameras, drains, etc, which are attached to the adjacent building on the North side of our site, are to be coordinated by the general contractor with the adjacent property owner. All removal / repair work with the area in question are the responsibility of the adjacent property owner and to be on the adjacent owner's expense.

Please refer to the revised sheet(s) A6.1 issued/appended with Addendum 04.

Question #A19: With regard to the canopy at the NE corner of building, sheet A2.1 refers to this canopy as "Aluminum canopy (above)", however, the right-hand side of elevation 2 on sheet A3.1 refers to this canopy as "Steel canopy", then again on the left-hand side of elevation 1 on sheet A3.1, it shows a section cut 1/A5.2 through this canopy where this 'canopy' is shown as a modified bitumen roof system. Please clarify which of these locations is to be a prefinished aluminum (Avadek) canopy as specified in section 10 73 10.

Response #A19: The canopy over the vehicle entrance is a "Metal Canopy" with structure providing supports, reference the structural drawings. The canopy over the main NW entrance of the office is a "Pre-Manufactured Metal Canopy" intended to be similar to an Avadeck canopy and mounted to the face of precast panels. The canopy at the NE corner of the office is a "Metal Canopy with structure providing supports



and roofed with a mod-bit roof system, reference the structural drawings. The canopy over the elevator lobby room 460 is a "Metal Canopy" with structure providing supports and roofed with a mod-bit roof system. The last and final canopy, located over door #440 is a "Pre-Manufactured Metal Canopy" intended to be similar to an Avadeck canopy and mounted to the face of precast panels.

Please refer to the revised sheet(s) A2.1 – A5.0 *issued/appended with* Addendum 04.



MEP RFI Questions and Responses (#s M1-M20):

Question #M1: (SUBSTITUTION REQUEST) Specs calls for a Simplex 4004 Conventional Fire Alarm Panel. Requesting that Notifier N16 Inspire Fire Alarm System be accepted as an equal. See attached data sheet.

Response #M1: Notifier is an acceptable substitution.

Question #M2: The specs on this project limit you to Simplex on the fire alarm system. Will there be any opportunity to substitute a different product line for this?

Response #M2: Notifier is an acceptable substitution.

Question #M3: Specification Section 26 02 00 - 2.2 - A says that "EMT conduit shall not be used in any location". Please advise if this applies to the office area also. Above ceiling and in wall conduit systems are not specifically addressed in this regard.

Response #M3: EMT is allowed in the office area.

Question #M4: Please confirm the following as these specs are not typical to what we normally see: Smallest wire size for power to be #10

Response #M4: Confirmed

Question #M5: Please confirm the following as these specs are not typical to what we normally see: One hole straps to be stainless. Can we use minerlac straps or strut straps? If so do they have to be stainless also?

Response #M5: Use minerlac straps or strut straps in the office area. Use galvanized one hole strap in the parking garage where needed. Most of the conduits will be concelaed.



Question #M6: Please confirm the following as these specs are not typical to what we normally see: All connections to panels, boxes, fixtures, and other equipment must have gasketed threaded hubs. Does this apply to NEMA 1 rated panels?

Response #M6: Use gasketed threaded hubs for exposed rigid conduit.

Question #M7: General Note 4 on Page E-001 says that "all above ground conduit shall be schedule 80 PVC. The electrical specs under "conduit 2.2 says that "exposed conduit is to be rigid hot-dipped galvanized steel with threaded fittings." What kind of conduit are we to use for exposed above ground conduits in the garage? Can we use aluminum rigid conduit for exposed above ground conduits in the garage? Can we use schedule 40 pvc conduit for exposed above ground conduits in the garage? Can we use aluminum EMT conduit for exposed above ground conduits in the garage? Can we use aluminum EMT is rust and weather resistant? Can we use fiberglass conduit for exposed above ground conduits in the garage; fiberglass conduit for exposed above ground conduits in the garage; fiberglass conduit for exposed above ground conduits in the garage; fiberglass conduit is rust and weather resistant?

Response #M7: For all concealed conduit use PVC Schedule 40. For exposed conduit in the parking garage use galvanized rigid conduit.

Question #M8: Are we allowed to use EMT conduit in the office area, which is typical?

Response #M8: Yes

Question #M9: The electrical contractor should not be furnishing or installing the Oil Detection Panel as shown as Sheet Note 9 on Page E-420.

Response #M9: Confirmed



Question #M10: All of the Panel Schedule shown on Pages E-603 and E-604 are missing the Interrupting Ratings (AIC's), which impairs the ability of the switchgear manufacturers' to properly quote the switchgear package. We need the panel schedules to list the (AIC) interrupting ratings?

Response #M10: Please see note on Sheet 'E-605' . EQUIPMENT SUPPLIER SHALL PERFORM A COMPLETE SYSTEM SHORT CIRCUIT COORDINATION STUDY AND SUPPLY EQUIPMENT THAT IS PROPERLY RATED TO MEET THE CALCULATED VALUES.

Question #M11: Page E-420 has notes 14 and 15 saying that the elevator manufacture will provide the the required elevator disconnects. The electrical specs call for the electrical contractor to provide the required elevator disconnects. Who is supposed to provide the elevator disconnects?

Response #M11: Disconnects to be provided by elevator manufacturer.

Question #M12: There are mechanical units on the electrical plans that show a nonfused disconnect for the corresponding mechanical unit. We just want to verify that these are to be non-fused disconnects?

Response #M12: Correct, use non fused disconnect.

Question #M13: The one line diagram shows the wrong size breaker feeding Transformer TR-2.

Response #M13: Please change breaker to 125/3P breaker, and change secondary side to 4#250M & 1#4GRD, 2-1/2"C

Question #M14: On Specification page 25 05 00-6 it is noted that EMT is not allowed in any location. However, in the office areas, would EMT be acceptable?

Response #M14: Please see note above



Question #M15: On Specification page 25 05 00-6 it states no power wiring smaller than #10. Will #12 be acceptable in the office areas?

Response #M15: #12 is not acceptable

Question #M16: Is MC acceptable for the office area?

Response #M16: MC is not allowed

Question #M17: E-101 shows generator to be 130kw, E-402 says generator to be 150kw, Spec section 26 32 13-6 says generator is to be 180kw, Which of these is correct?

Response #M17: 130Kw is the correct size.

Question #M18: The panel schedule for Panel IT does not have the required breakers to feed Heat Pumps HP-2 and HP-3

Response #M18: Move AC-2/CU-02 and AC-3/CU-03 from panel 'ML1' to panel IT. AC-2/CU-02 to circuits 'IT-13,15' and AC-3/CU-03 to circuits 'IT-17,19'. Connect HP-3 from circuit 'ML1-10,12, and HP-2 from circuit

Question #M19: There is a General Note 18 on Page E-001 says that the "electrical contractor to hire an FCC licensed contractor for the emergency radio system (ERS). The sub-contractor shall visit the deck and verify signal strength of 450- 500 and 800 MHz radio signals for first responders. The sub-contractor to provide amplifiers where required. The main system to be installed in data room." This sub-contractor should be picked up by someone other than the electrical contractor. Electrical contractors have nothing to do with an FCC licensed contractor. This is much more likely to be known by a fire alarm contractor.

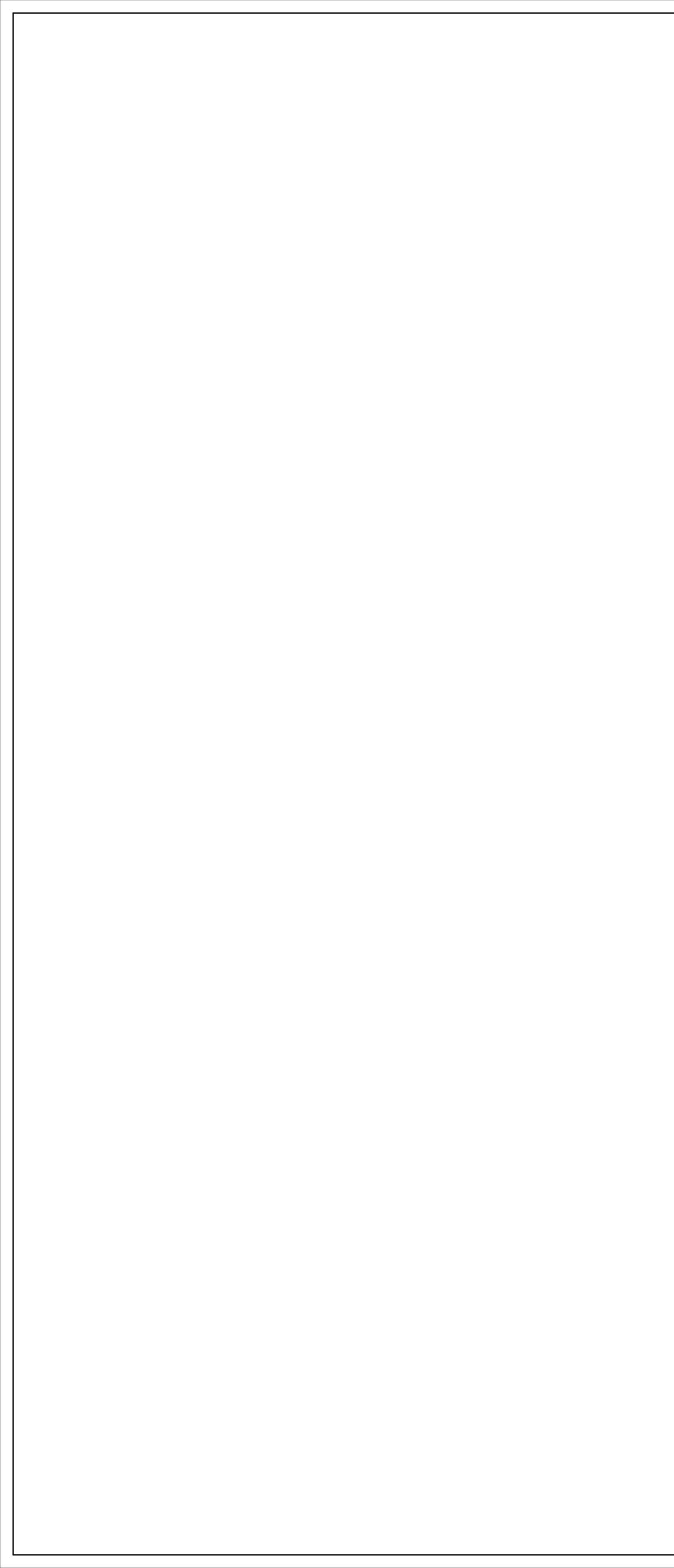
Response #M19: Electrical contractor to hire an FCC licensed contractor.



Question #M20: Also, would MC be allowed in the office area?

Response #M20: MC is not allowed

End of Response

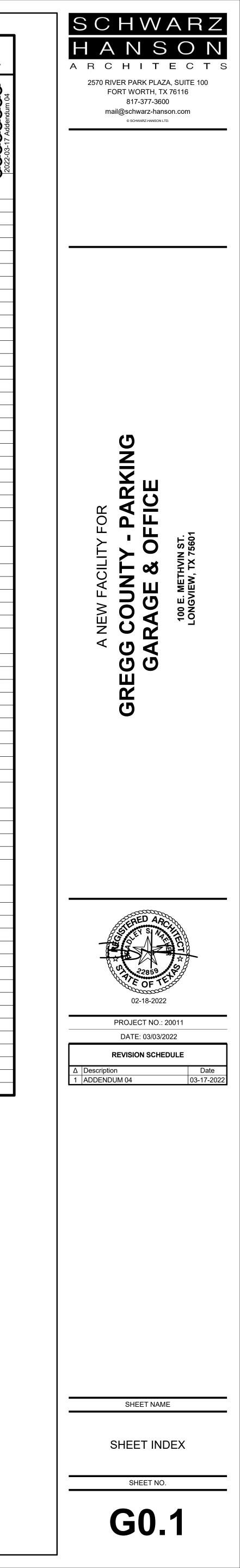


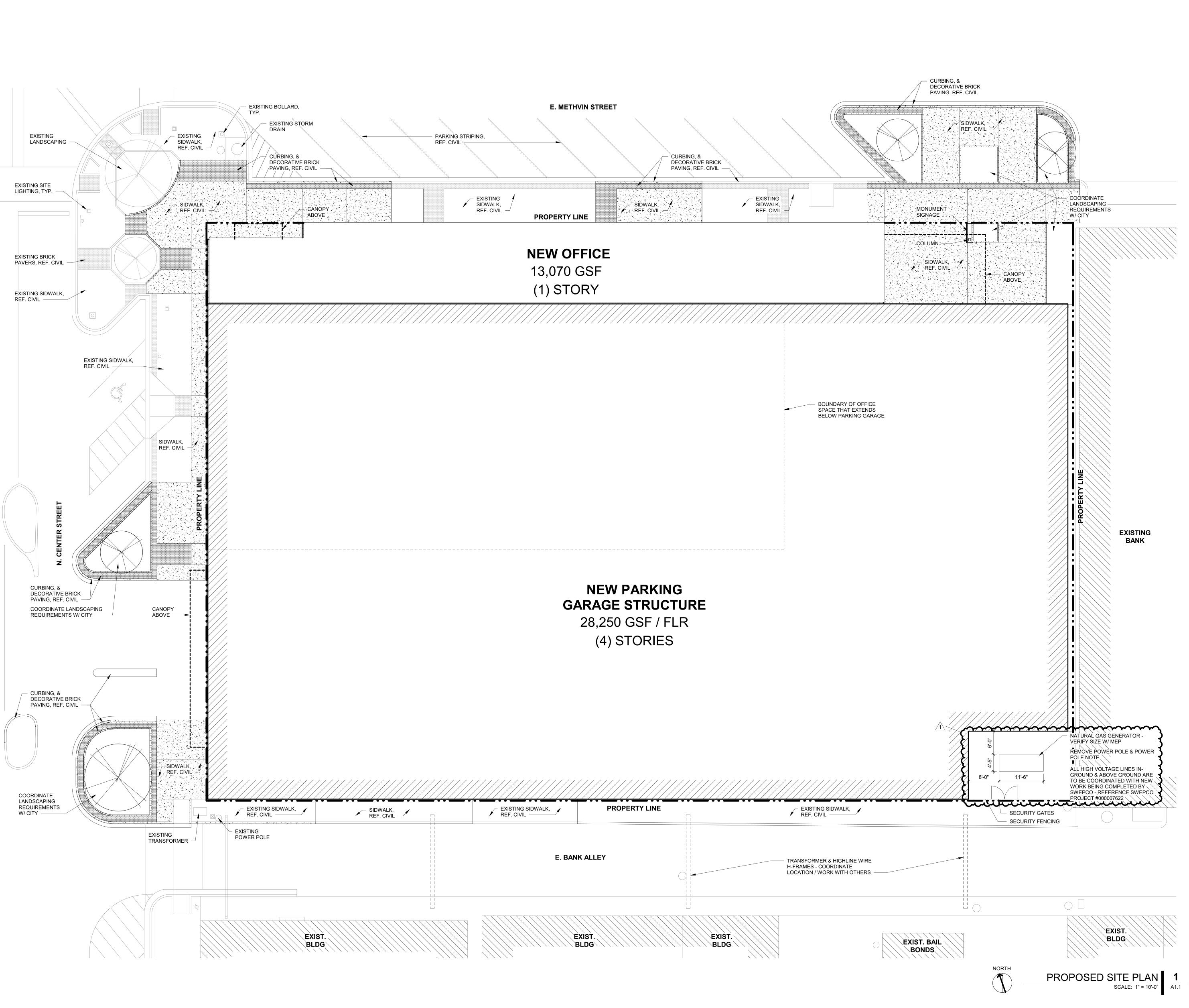
ABBREVI	ATIONS		
ACOUST.	ACOUSTICAL	K/S	KNEE SPACE
ADA	AMERICAN'S WITH DISABILITIES ACT	LT.	LIGHT
AFF	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINIUM	MAT'L	MATERIAL
ANOD.	ALUMINIUM ANODIZED	MFR.	MANUFACTURER
B.O.	BOTTOM OF	MIN.	MINIMUM
CF	CUBIC FOOT	MTL.	METAL
CABT.	CABINET	NTS.	NOT TO SCALE
C.I.P	CAST IN PLACE	O.C.	ON CENTER
C.J.	CONTROL JOINT/ CONSTRUCTION JOINT	O.F.C.I	OWNER FURNISHED/CONTRACTOR
C.L.	CENTER LINE		INSTALLED
CLG.	CEILING	O.H.	OPPOSITE HAND
CMU	CONCRETE MASONARY UNIT	OSB	ORIENTED STRAND BOARD
COL.	COLUMN	P.LAM.	PLASTIC LAMINATE
COMM.	COMMUNICATIONS	REF.	REFERENCE
CONC.	CONCRETE	REQ.	REQUIRED
CONT.	CONTINUOUS	RQMTS.	REQUIREMENTS
COORD.	COORDINATE	RM.	ROOM
COORR.	CORRIDOR	R.O.	ROUGH OPENING
DBL.	DOUBLE	SCHED.	SCHEDULED
DR.	DOOR	SHWR	SHOWER
DS.	DOWNSPOUT	STF	STOREFRONT
EA.	EACH	STN.	STAIN
EQ.	EQUAL	S.F.	SQUARE FOOT
E.I.F.S	EXTERIOR INSULATED FINISH SYSTEM	SHT.	SHEET
E.J.	EXPANSION JOINT	STOR.	STORAGE
EWC	ELECTRIC WATER COOLER	SUSP.	SUSPENDED
EXIST	EXISTING	TAS	TEXAS ACCESSIBILITY STANDARDS
F.A.C.P.	FIRE ALARM CONTROL PANEL	T.B.T.& P.T	TAPE, BED, TEXTURE, & PAINT
F.D.	FLOOR DRAIN	TELE.	TELEPHONE
F.DWN	FURR- DOWN	T.H.	THRESHOLD
F.D.C.	FIRE DEPARTMENT CONNECTION	Т.О.	TOP OF
F.E.	FIRE EXTINGUISHER	T&G	TONGUE AND GROOVE
F.E.C.	FIRE EXTINGUISHER CABINET	TYP.	TYPICAL
FRP	FIREGLASS REINFORCED PANELS	U.N.O.	UNLESS NOTED OTHERWISE
F.F.	FINISH FLOOR	VCT	VINYL COMPOSITION TILE
GYP. BD.	GYPSUM BOARD	W/	WITH
H.C./H. CAP.	HANDICAP ACCESSIBLE	WD. WP	WOOD WATER PROOF
H.B.	HOSE BIB	WSCT.	WAINSCOT
H.D. HT.	HEAD HEIGHT		
HM	HOLLOW METAL		ABOVE LIST DOES NOT CONTAIN /IATIONS USED IN THE DRAWINGS.
HT./HGT.	HEIGHT		
WH	WATER HEATER		
JT.	JOINT		

	SHEET INDEX			
		2022-02-18 - 100% CDs Bid Set	2022-03-09 Addendum 03	2022-03-17 Addendum 04
GENE 30.0	COVER	X		
G0.1	SHEET INDEX	X		X
G0.2	TEXAS ACCESSIBILITY STANDARDS	X		
G0.3	TEXAS ACCESSIBILITY STANDARDS	X		
G0.4	TEXAS ACCESSIBILITY STANDARDS	X		
30.5 30.6	FRAMING DETAILS MOUNTING HEIGHTS	X		
30.0 30.7	FIRE PENETRATION DETAILS	Х		
GIVIL C-1	DEMOLITION PLAN	X		
C-2	STORM WATER POLLUTION PREVENTION PLAN	X		t
C-3	SITE PLAN	X		
2-4	GRADING PLAN	X		
C-5	UTILITY PLAN	X	-	
C-6 C-7	STANDARD DETAILS CITY OF LONGVIEW STANDARD DETAILS	X	-	-
ARCH	IITECTURAL			
\ 0.0	CODE REVIEW	X		
A0.1	LIFE SAFETY PLAN - OFFICE LEVEL & GARAGE TIER 1	X		
0.2	LIFE SAFETY PLAN - GARAGE TIER 2	X		
0.3	LIFE SAFETY PLAN - GARAGE TIER 3	X		
0.4 1.0	LIFE SAFETY PLAN - GARAGE TIER 4 DEMOLITION SITE PLAN	X		
1.1	ARCHITECTURAL SITE PLAN	×		X
2.1	FLOOR PLAN - OFFICE LEVEL & GARAGE TIER G	X		X
2.2	FLOOR PLAN - GARAGE TIER 2	X		X
2.3	FLOOR PLAN - GARAGE TIER 3	X		X
2.4	FLOOR PLAN - GARAGE TIER 4	X		
2.5	ROOF PLAN	X		X
2.6	ENLARGED PLAN - NW - OFFICE LEVEL & GARAGE TIER G	X		X
2.7	ENLARGED PLAN - NE - OFFICE LEVEL & GARAGE TIER G ENLARGED PLAN - SW - OFFICE LEVEL & GARAGE TIER G &	X		X
42.8	RESTROOMS	X		X
\3.1	EXTERIOR ELEVATIONS	X		X
3.2	EXTERIOR ELEVATIONS	X		X
N3.3	PARTIAL BUILDING SECTIONS	X		X
4.1 4.2	BUILDING SECTIONS BUILDING SECTIONS	X		X
4.3	WALL SECTIONS	х Х		X
4.4	WALL SECTIONS	X	-	
4.5	WALL SECTIONS	X	1	
4.6	WALL SECTIONS	X		
4.8	VERTICAL CIRCULATION N.E. STAIR PLANS	X		
4.9	VERTICAL CIRCULATION S.W. STAIR PLANS	X	-	
A5.0	SECTION DETAILS	X	-	X
\5.1 \5.2	SECTION DETAILS SECTION DETAILS	X	-	+
5.3	SECTION DETAILS	×	-	+
\$.5	PLAN DETAILS	X	1	X
\6.1	STOREFRONT DOOR & WINDOW ELEVATIONS & SCHEDULES	X	X	X
6.2	PARTITION TYPES	X		
7.1	REFLECTED CEILING PLAN & CEILING DETAILS	X		
		V	1	V
\8.1 \8.2	INTERIOR ELEVATIONS MILLWORK DETAILS	X	-	X
40.2 49.1	FINISH SCHEDULE AND NOTES	X	-	+
\9.2	FINISH PLAN	X		
SIGN	AGE & STRIPING	i		
	GROUND TIER STRIPING AND SIGNAGE PLAN	X		
0400	SECOND TIER STRIPING AND SIGNAGE PLAN	X	_	
		X	1	1
G103	THIRD TIER STRIPING AND SIGNAGE PLAN			
AG103	TOP TIER STRIPING AND SIGNAGE PLAN SIGN SCHEDULE AND DETAILS	X X		

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S-001 S-002	STRUCTURAL GENERAL NOTES ABBREVIATIONS AND LEGENDS	X X	
S-003	POST-TENSION POUR SEQUENCE	X	<u> </u>
S-100	FOUNDATION PLAN	X	
S-101	GROUND TIER PLAN	X	
S-102		X	
S-103 S-104	THIRD TIER PLAN FOURTH TIER PLAN	X X	
S-104	ROOF PLAN	X	
S-410	ENLARGED STAIR/ELEVATOR PLANS	X	
S-420	ENLARGED STAIR PLANS	X	
S-501	TYPICAL DETAILS	X	
S-510 S-511	FOUNDATION DETAILS FOUNDATION WALL DETAILS	X X	
S-511	FOUNDATION WALL DETAILS	X	
S-520	STRUCTURAL DETAILS	X	
S-530	CIP BEAM SCHEDULE AND DETAILS	X	
S-535	POST-TENSION SLAB DETAILS	X	
S-540 S-541	WALL DETAILS STRUCTURAL DETAILS	X X	_
S-541 S-542	STRUCTURAL DETAILS	X	
S-543	STRUCTURAL DETAILS	X	
S-550	CIP COLUMN SCHEDULE & DETAILS	X	
S-570	STAIR AND ELEVATOR DETAILS	X	
S-650	LAP SLICE SCHEDULES	X	
M-001	HANICAL MECHANICAL EQUIPMENT SCHEDULE, GENERAL NOTES,	X	
M-001	SYMBOLS & ABBREVIATIONS DETAILS	X	
M-101	GROUND TIER PLAN	X	
M-102	SECOND TIER PLAN	X	
M-103	THIRD TIER PLAN	X	
M-104	TOP TIER PLAN	X	
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P-001	GENERAL NOTES, SYMBOLS & ABBREVIATIONS	X	
P-101	GROUND TIER PLAN	X	
P-102	SECOND TIER PLAN	X	
P-103 P-104	THIRD TIER PLAN	X X	
P-400	GENERAL OFFICE PLUMBING INFORMATION	X	
P-401	FOUNDATION OFFICE PLUMBING PLAN	X	
P-402	OFFICE PLUMBING PLAN	X	
P-403 P-601	ENLARGED OFFICE PLUMBING PLANS	X	
	PROTECTION	X	
F-001	GENERAL NOTES, SYMBOLS & ABBREVIATIONS	X	
	FIRE PROTECTION PLANS	X	
F-101			
F-201	PARTIAL FIRE PROTECTION PLAN	X	
	PARTIAL FIRE PROTECTION PLAN FIRE STANDPIPE RISER DIAGRAM	X X	
F-201 F-301 ELE(FIRE STANDPIPE RISER DIAGRAM CTRICAL LIGHT FIXTURE SCHEDULE, GENERAL NOTES, SYMBOLS &	X	
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F-201 F-301 E-001 E-101 E-102 E-103 E-104 E-401 E-402 E-403	FIRE STANDPIPE RISER DIAGRAM	X X X X X X X X X X X X X	
F-201 F-301 E-001 E-101 E-102 E-103 E-104 E-401 E-402 E-403 E-403 E-410 E-420 E-501	FIRE STANDPIPE RISER DIAGRAM	X X X X X X X X X X X X X X X X X X	
F-201 F-301 E-001 E-101 E-102 E-103 E-104 E-401 E-402 E-403 E-403 E-410 E-420 E-501 E-601	FIRE STANDPIPE RISER DIAGRAM	X X X X X X X X X X X X X X X X X X X	
F-201 F-301 E-001 E-101 E-102 E-103 E-104 E-401 E-402 E-403 E-403 E-403 E-401 E-401 E-401 E-401 E-401 E-601 E-601	FIRE STANDPIPE RISER DIAGRAM	X X X X X X X X X X X X X X X X X X X	
F-301 E-001 E-101 E-102 E-103 E-104 E-401 E-401 E-402 E-403 E-403 E-410 E-420 E-501 E-601	FIRE STANDPIPE RISER DIAGRAM	X X X X X X X X X X X X X X X X X X X	

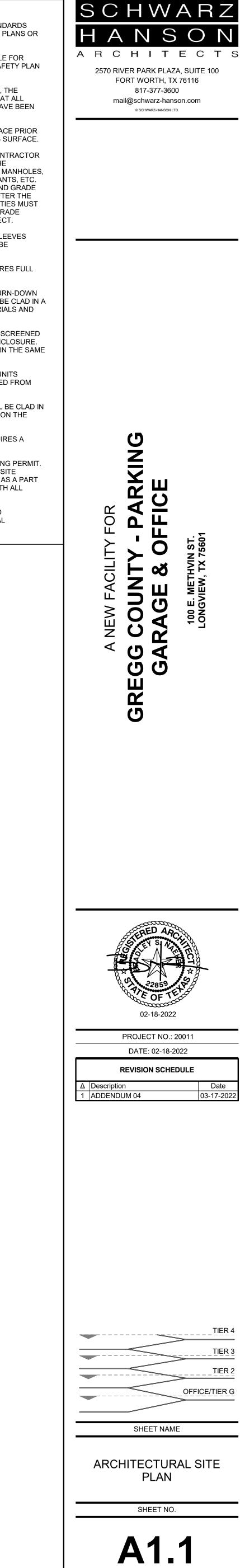
SHEET INDEX

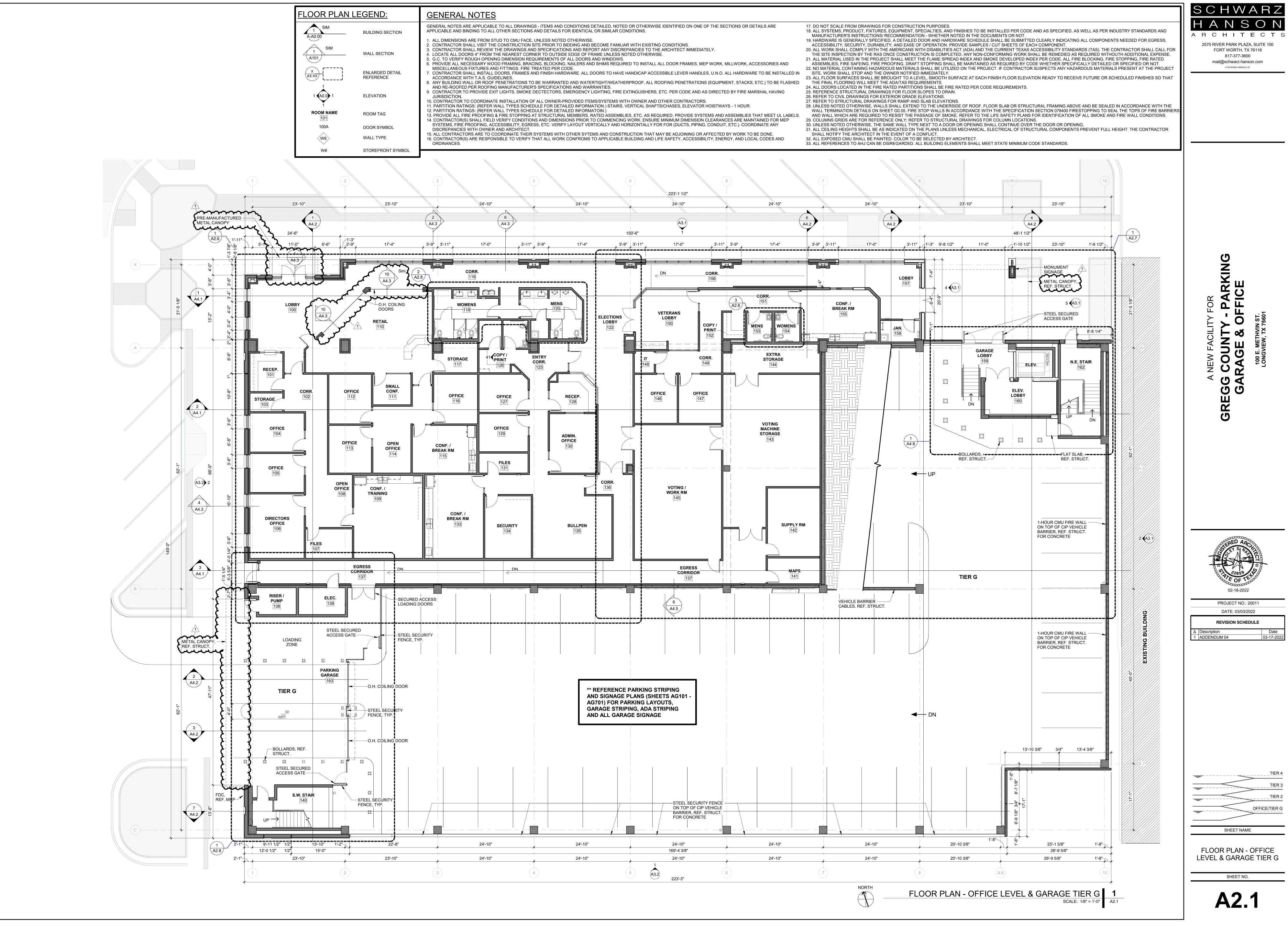


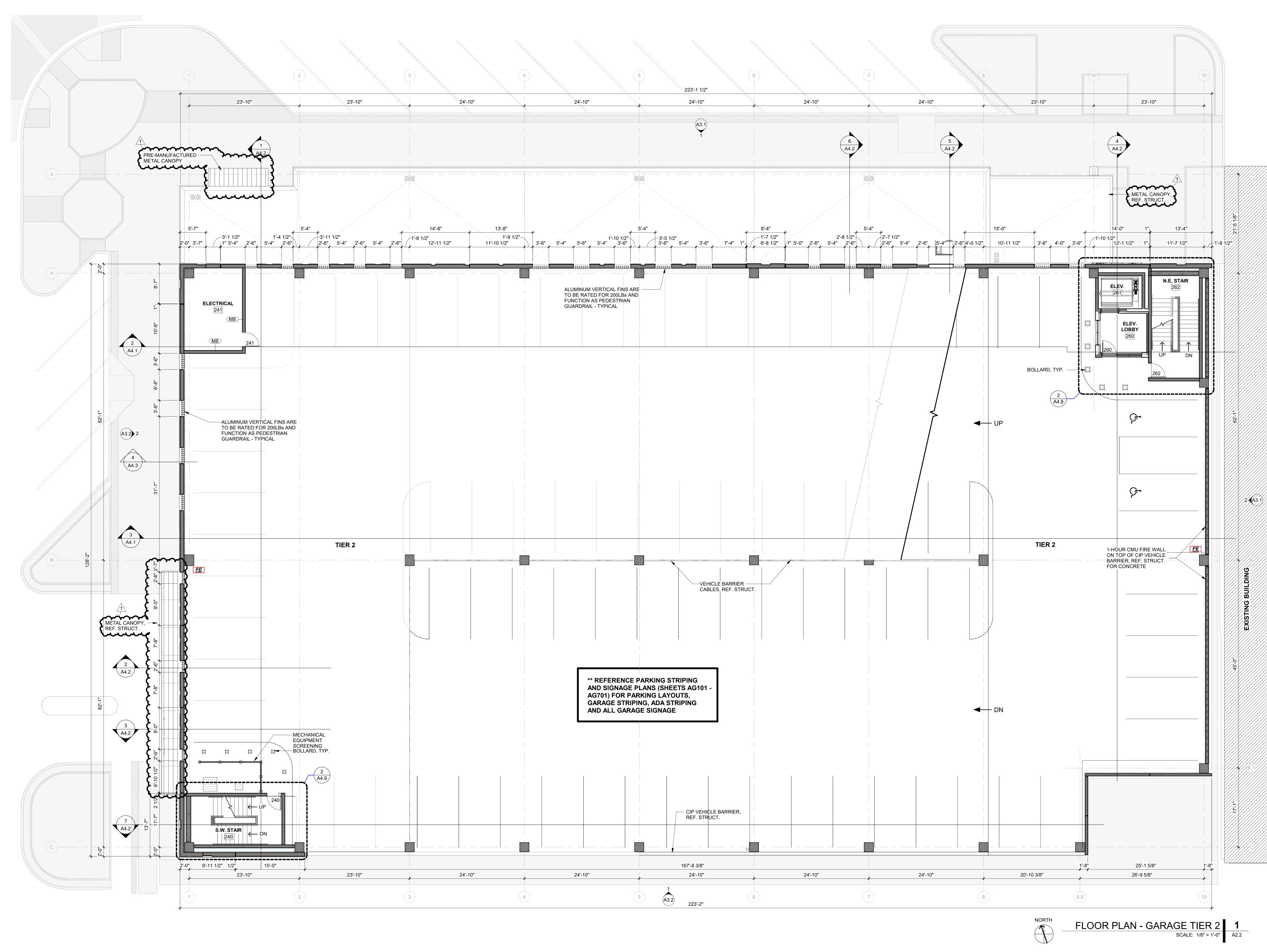


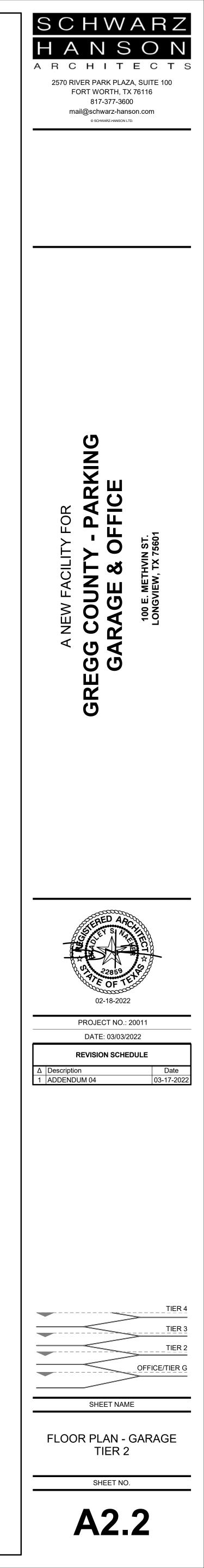
κ, ιμ	EXISTING SIDWALK, REF. CIVIL	PROPERTY LINE	EXISTING SIDWALK, REF. CIVIL
	E. BANK	ALLEY	TRANSFORMER & HIGHLINE WIRE H-FRAMES - COORDINATE LOCATION / WORK WITH OTHERS
	EXI BLI		EXIST. BLDG

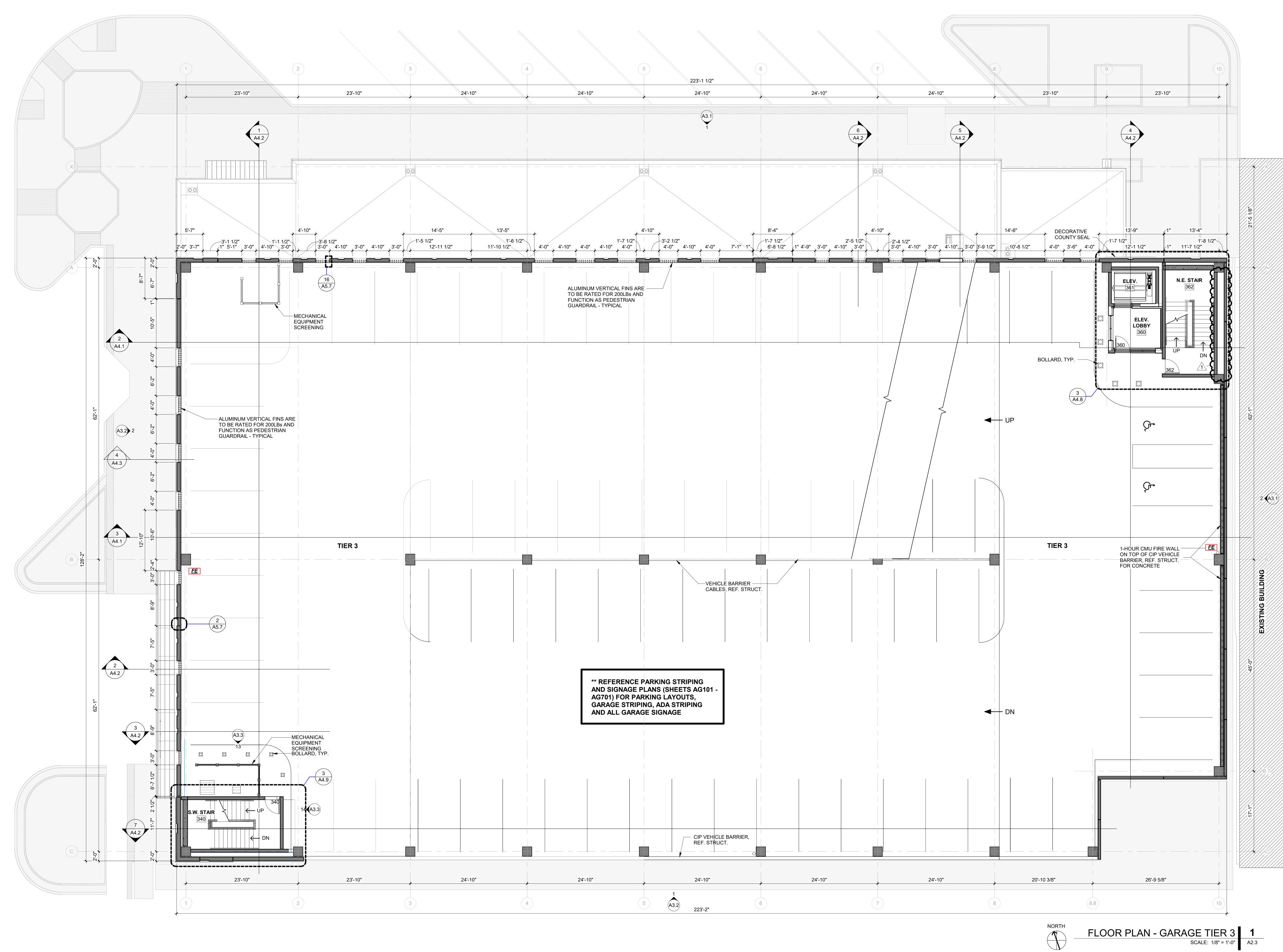
GENERAL NOTES: 1. THE CITY OF 'X' CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING ANY REQUIRED TRENCH SAFETY PLAN OR TRAFFIC CONTROL PLAN. 3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. 4. EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE. 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT. 6. ALL UNDERGROUND UTILITIES AND SLEEVES (IRRIGATION AND SITE LIGHTING) MUST BE INSTALLED BEFORE PAVING. 7. ALL PAVEMENT REPAIR WORK REQUIRES FULL PANEL REPLACEMENT. 8. ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO COMPLEMENT THE MATERIALS AND COLORS WITHIN THIS DEVELOPMENT. 9. ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING. 10. ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW. 11. DUMPSTER SCREENING WALL SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING. 12. DUMPSTER SCREENING WALL REQUIRES A SEPARATE BUILDING PERMIT. 13. SIGNS REQUIRE A SEPARATE BUILDING PERMIT. ANY SIGNS DEPICTED ON THE SUBJECT SITE PLAN/ELEVATIONS ARE NOT APPROVED AS A PART OF THIS REVIEW AND MUST COMPLY WITH ALL APPLICABLE TOWN REGULATIONS. 14. REFERENCE CIVIL, LANDSCAPE, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

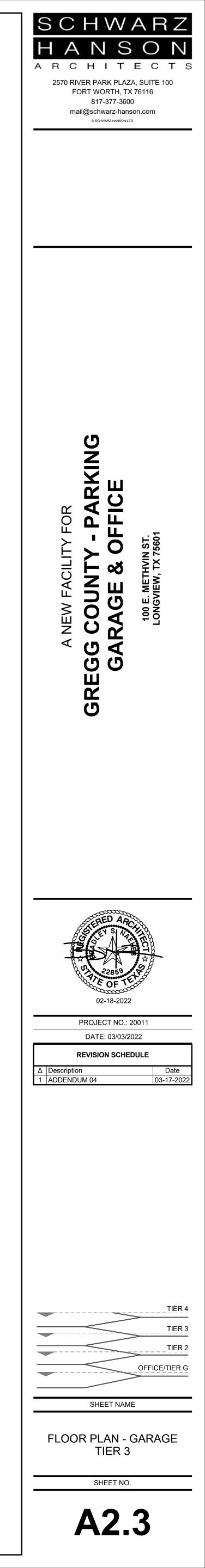




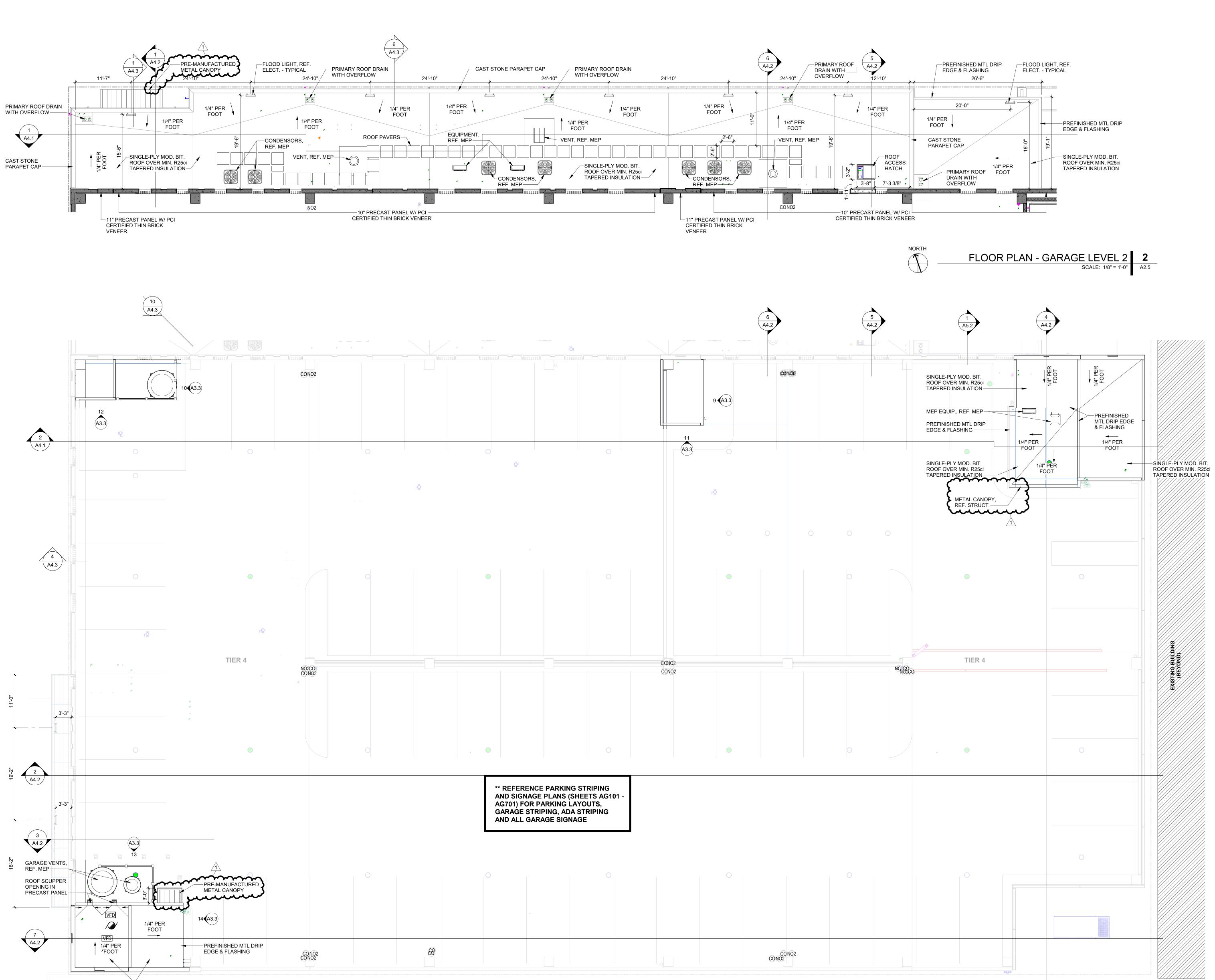


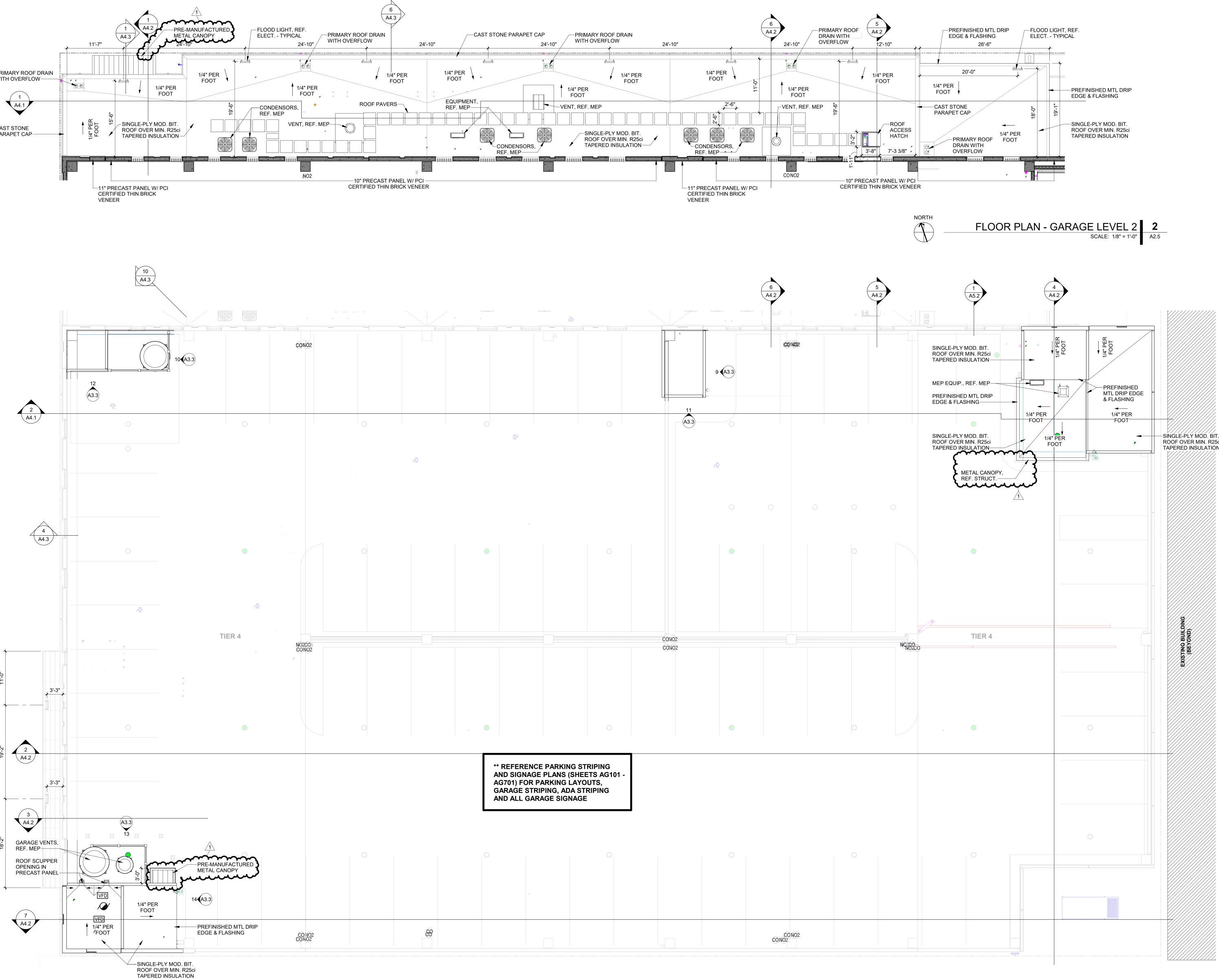




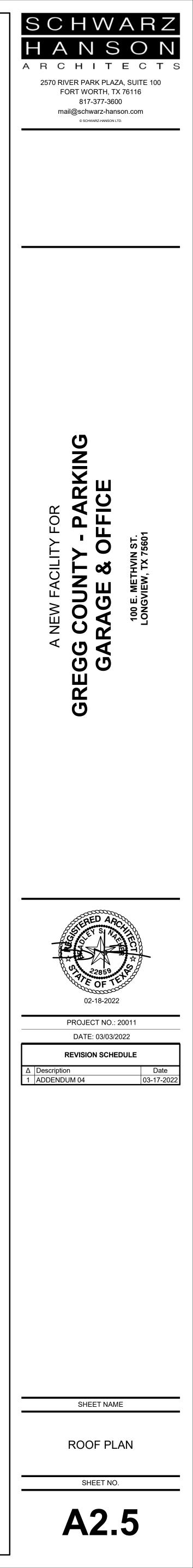




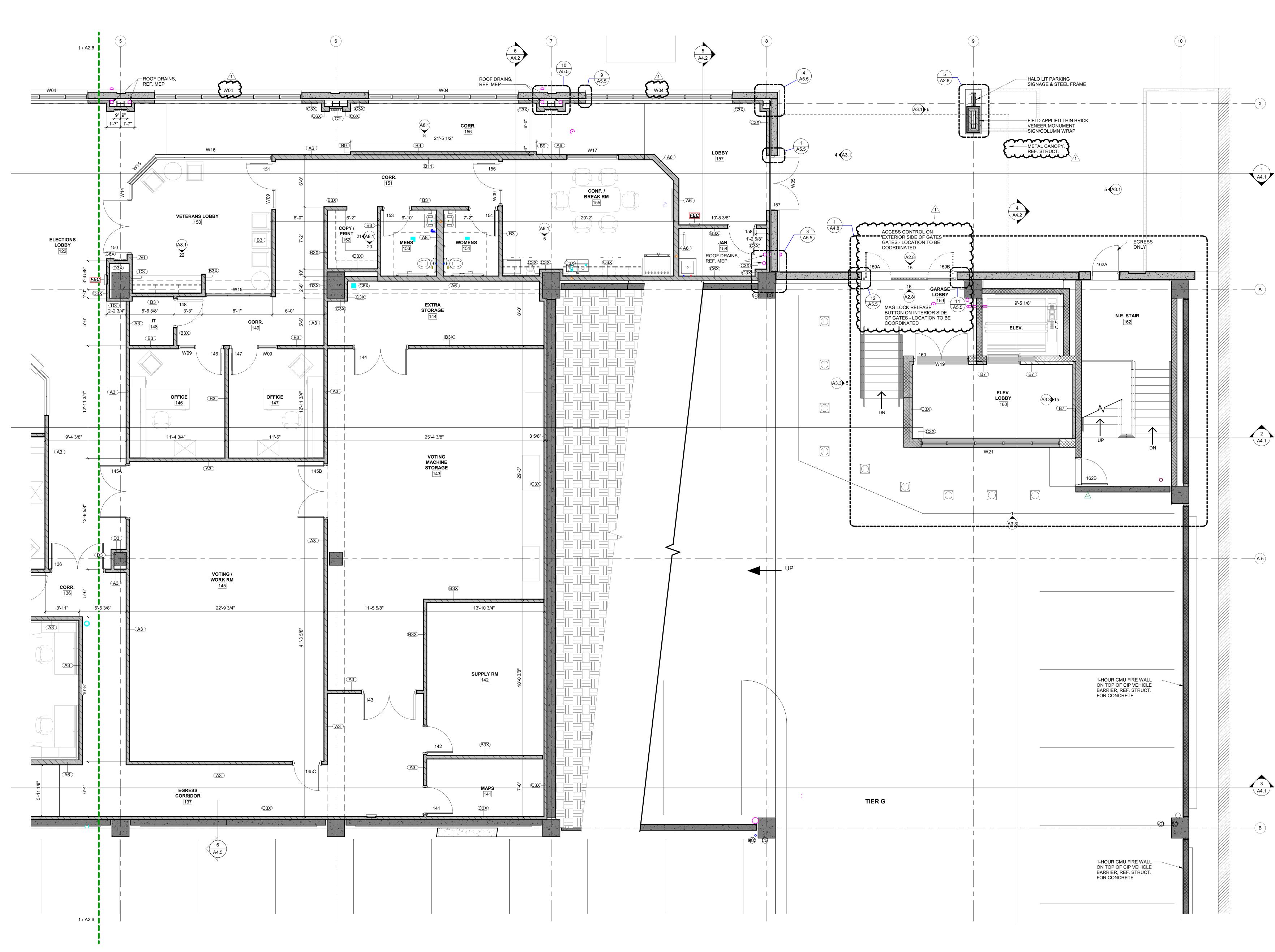




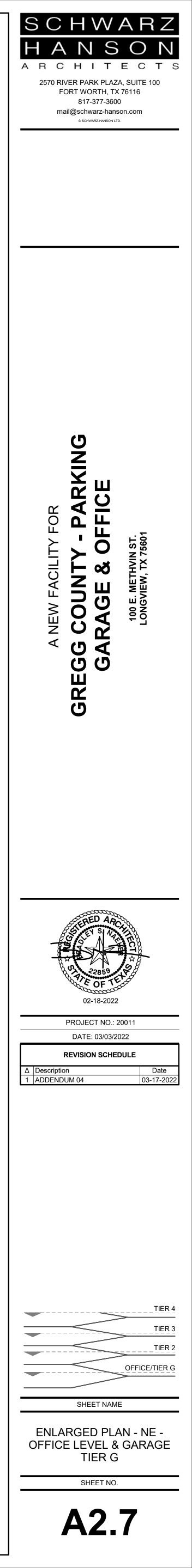


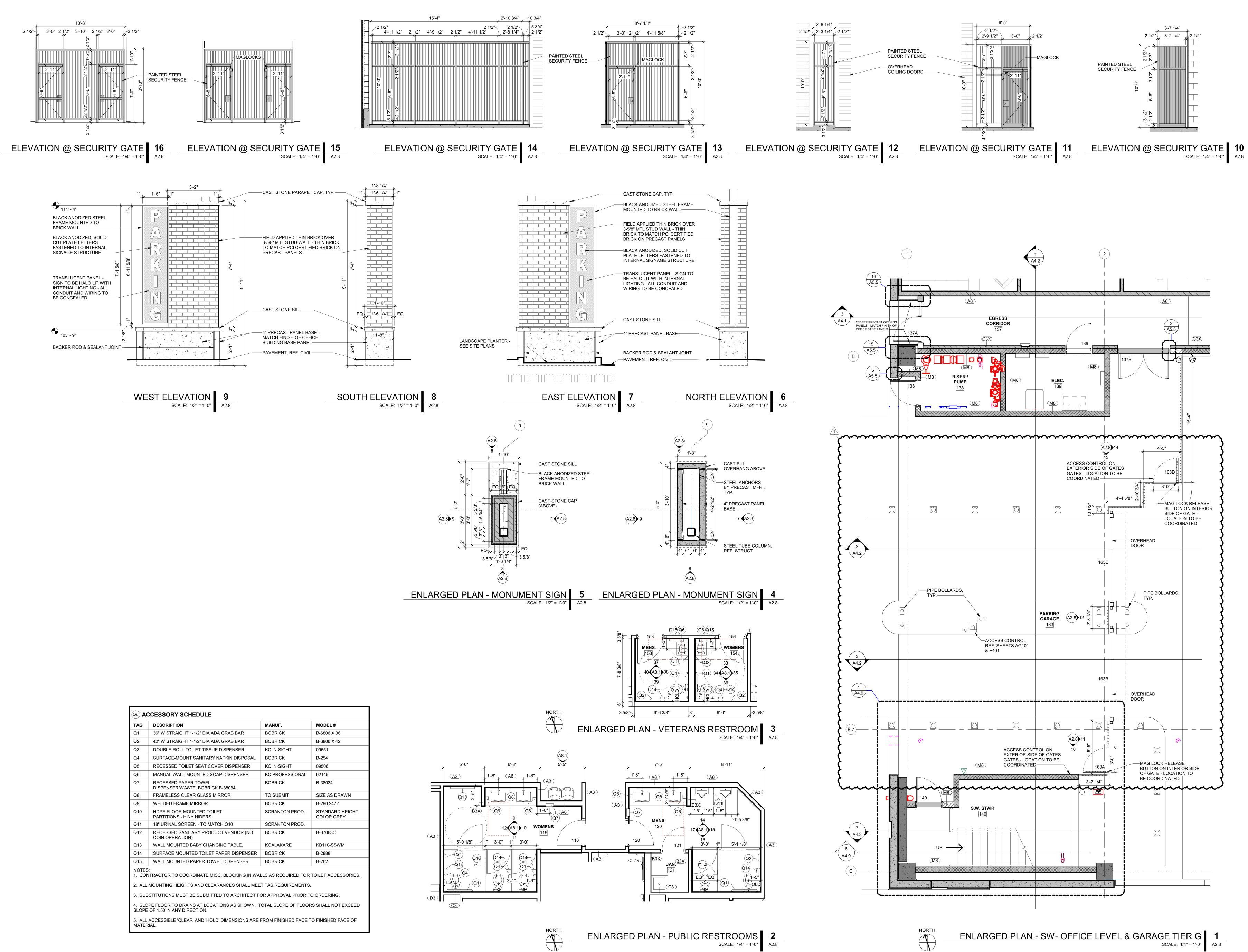






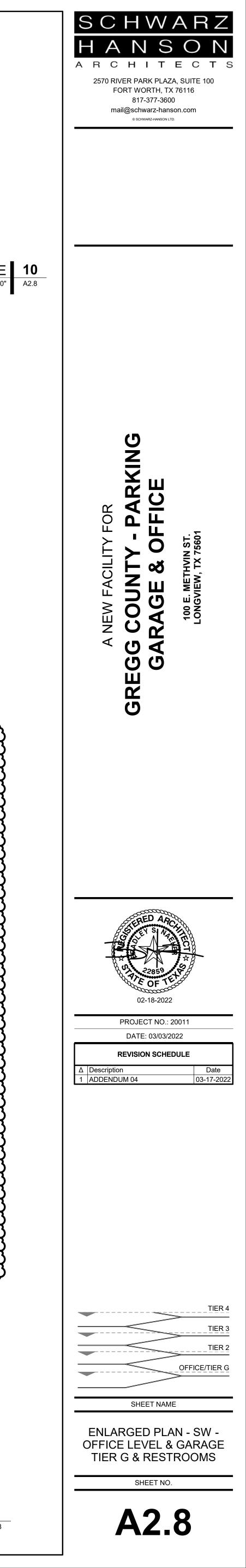


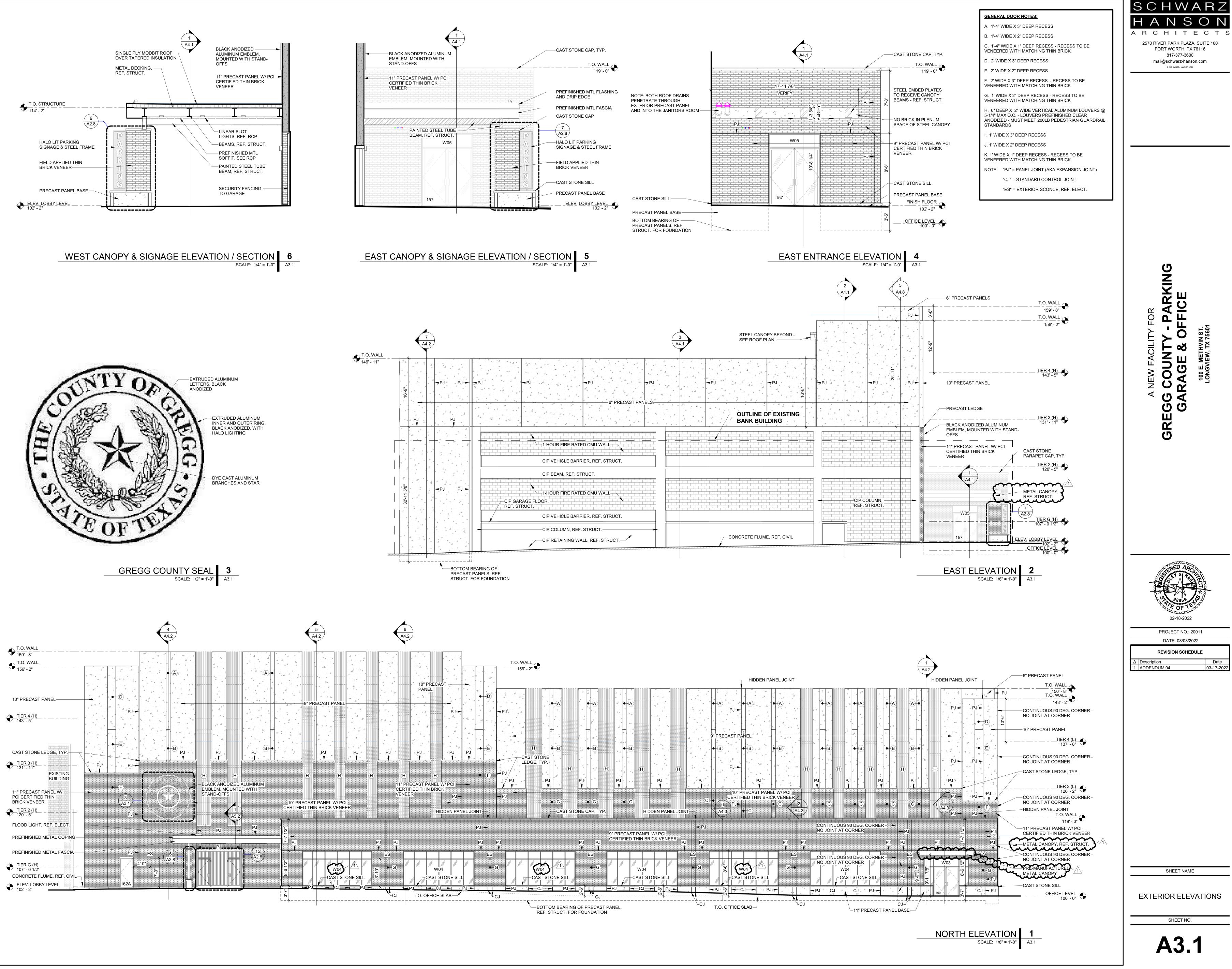


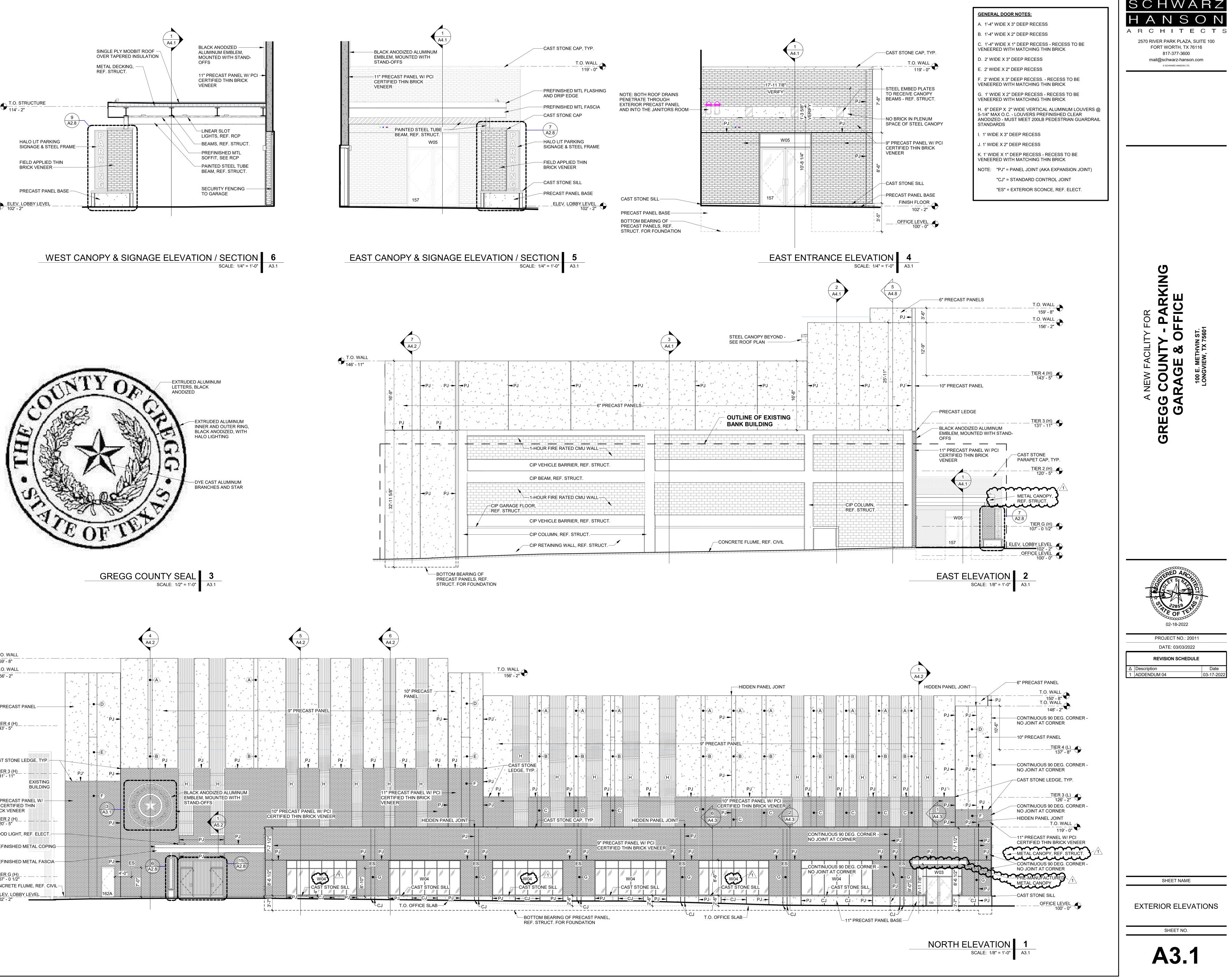


TAG	DESCRIPTION	MANUF.	MODEL #
Q1	36" W STRAIGHT 1-1/2" DIA ADA GRAB BAR	BOBRICK	B-6806 X 36
Q2	42" W STRAIGHT 1-1/2" DIA ADA GRAB BAR	BOBRICK	B-6806 X 42
Q3	DOUBLE-ROLL TOILET TISSUE DISPENSER	KC IN-SIGHT	09551
Q4	SURFACE-MOUNT SANITARY NAPKIN DISPOSAL	BOBRICK	B-254
Q5	RECESSED TOILET SEAT COVER DISPENSER	KC IN-SIGHT	09506
Q6	MANUAL WALL-MOUNTED SOAP DISPENSER	KC PROFESSIONAL	92145
Q7	RECESSED PAPER TOWEL DISPENSER/WASTE. BOBRICK B-38034	BOBRICK	B-38034
Q8	FRAMELESS CLEAR GLASS MIRROR	TO SUBMIT	SIZE AS DRAWN
Q9	WELDED FRAME MIRROR	BOBRICK	B-290 2472
Q10	HDPE FLOOR MOUNTED TOILET PARTITIONS - HINY HIDERS	SCRANTON PROD.	STANDARD HEIGHT, COLOR GREY
Q11	18" URINAL SCREEN - TO MATCH Q10	SCRANTON PROD.	
Q12	RECESSED SANITARY PRODUCT VENDOR (NO COIN OPERATION)	BOBRICK	B-37063C
Q13	WALL MOUNTED BABY CHANGING TABLE.	KOALAKARE	KB110-SSWM
Q14	SURFACE MOUNTED TOILET PAPER DISPENSER	BOBRICK	B-2888
Q15	WALL MOUNTED PAPER TOWEL DISPENSER	BOBRICK	B-262
2. ALL 3. SUE 4. SLC SLOPE	MTRACTOR TO COORDINATE MISC. BLOCKING IN WAI MOUNTING HEIGHTS AND CLEARANCES SHALL MEE SSTITUTIONS MUST BE SUBMITTED TO ARCHITECT FO OPE FLOOR TO DRAINS AT LOCATIONS AS SHOWN. T OF 1:50 IN ANY DIRECTION. ACCESSIBLE 'CLEAR' AND 'HOLD' DIMENSIONS ARE I	T TAS REQUIREMENTS. OR APPROVAL PRIOR TO OTAL SLOPE OF FLOOF	O ORDERING. RS SHALL NOT EXCEED

SCALE: 1/4" = 1'-0" A2.8

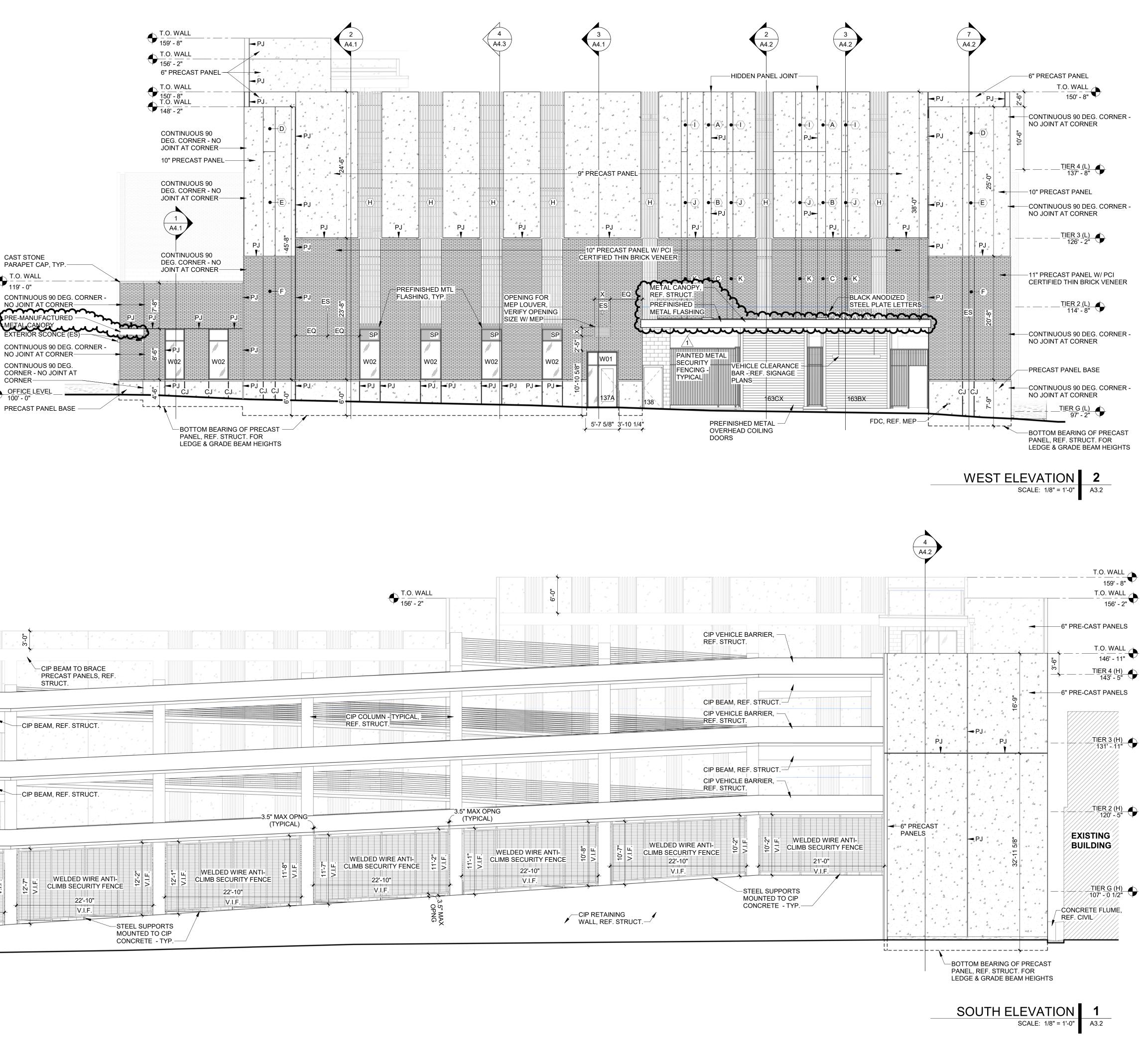


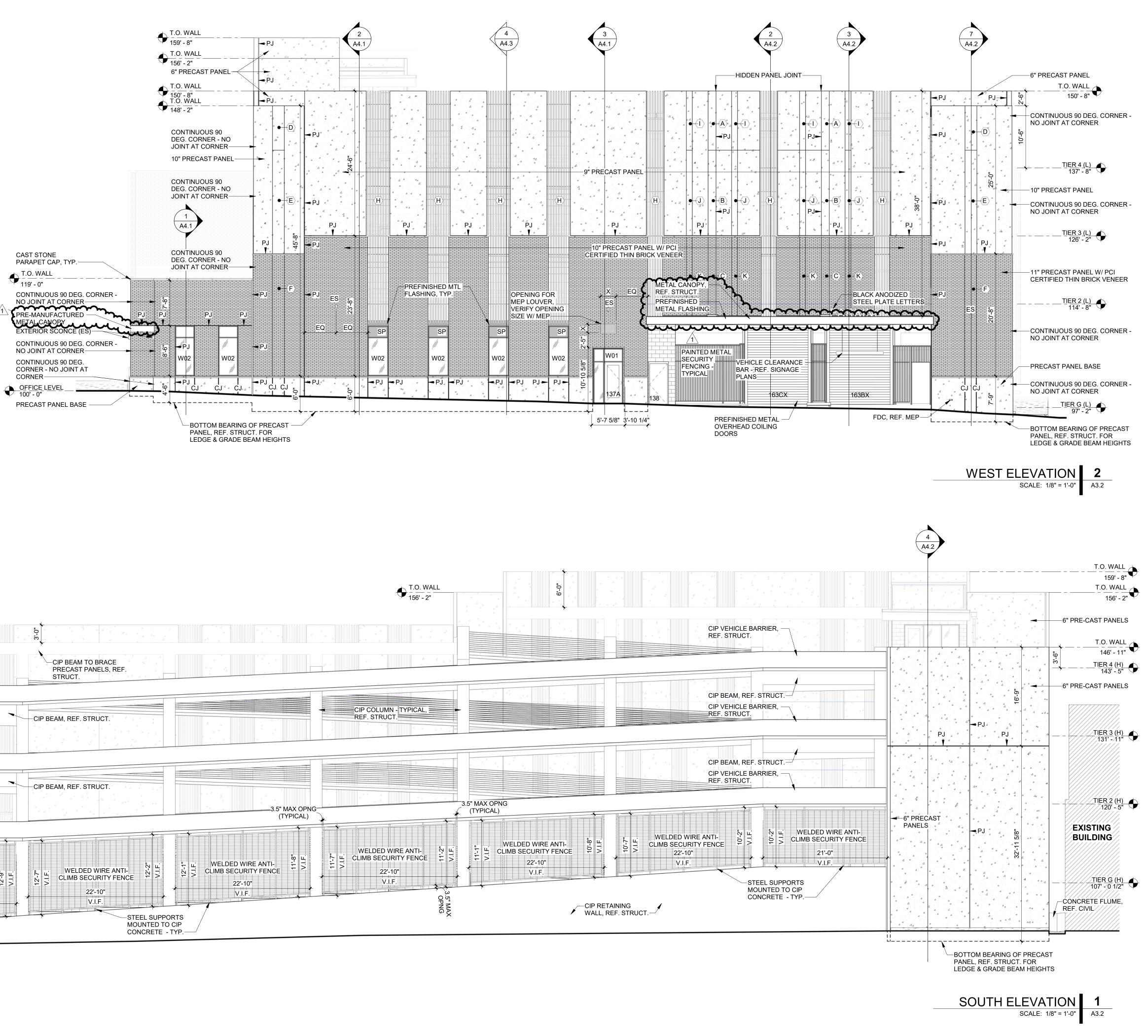


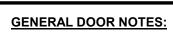


-BOTTOM BEARING OF PRECAST PANEL, REF. STRUCT. FOR LEDGE & GRADE BEAM HEIGHTS

T.O. WALL			Т	/9" PRECAST PANEL
T.O. WALL	A A A A A A A A A A A A A A A A A A A	$\begin{array}{c} a \\ a $		
10" PRECAST PANEL				
CONTINUOUS 90 DEG. CORNER - NO JOINT AT CORNER CAST STONE LEDGE, TYP.	a a a a a a a a a a a a a a a a a a a			
TIER 3 (L) 126' - 2" 11" PRECAST PANEL W/ PCI CERTIFIED THIN BRICK VENEER	A A B A A A A A A A A A A A A A A A A A		↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓	
STEEL PLATE LETTERS	₽J			
METAL CANOPY, REF. STRUCT		• 5.85-5"		
CAST STONE SILL				21'-8" V.I.F.

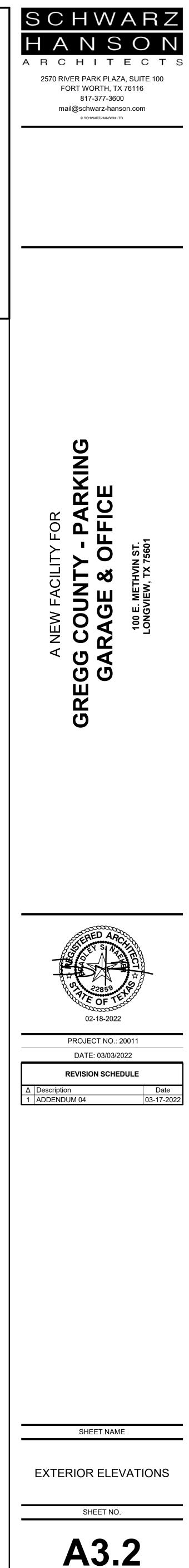


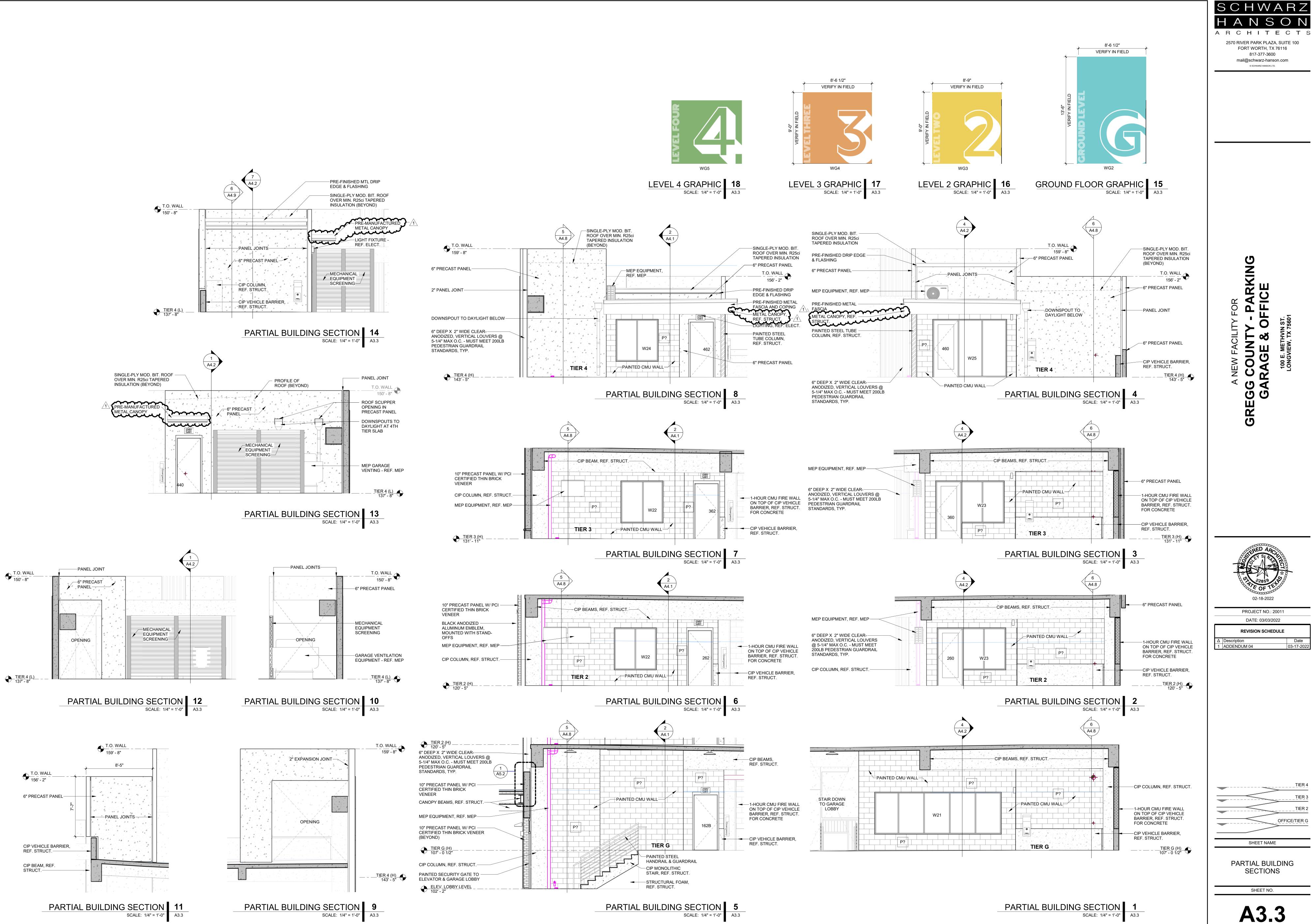


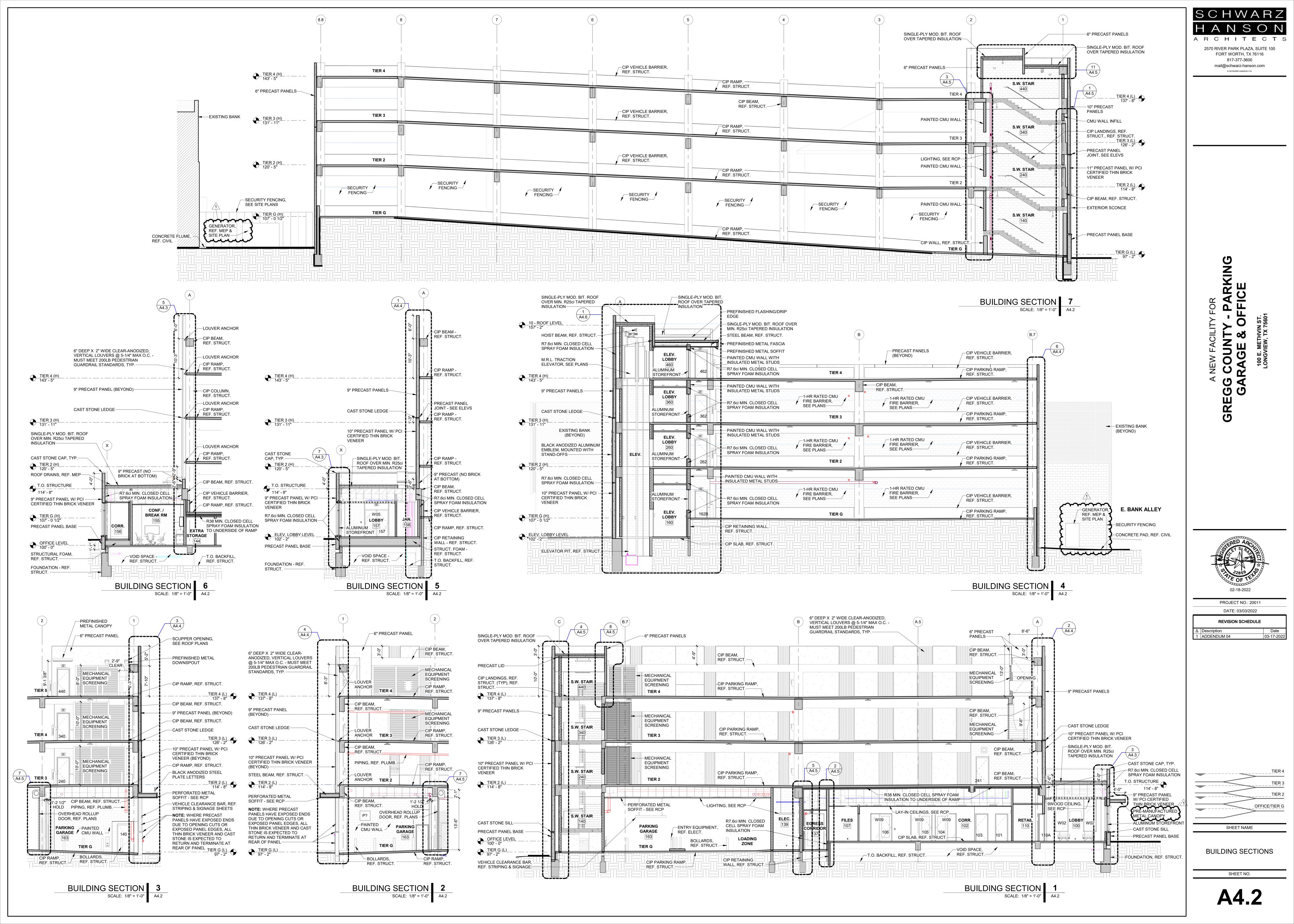


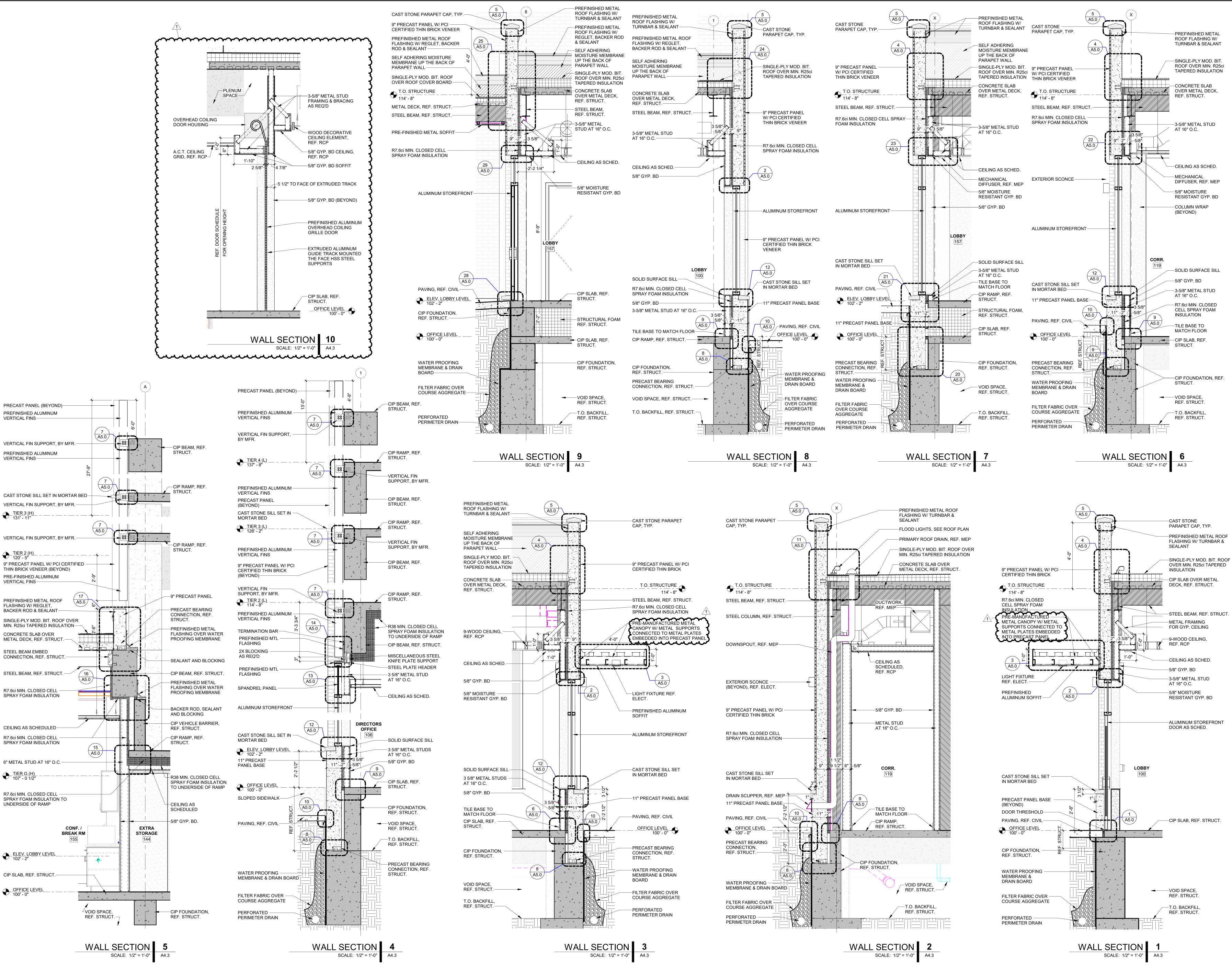
- A. 1'-4" WIDE X 3" DEEP RECESS
- B. 1'-4" WIDE X 2" DEEP RECESS
- C. 1'-4" WIDE X 1" DEEP RECESS RECESS TO BE VENEERED WITH MATCHING THIN BRICK
- D. 2' WIDE X 3" DEEP RECESS
- E. 2' WIDE X 2" DEEP RECESS
- F. 2' WIDE X 3" DEEP RECESS. RECESS TO BE
- VENEERED WITH MATCHING THIN BRICK
- G. 1' WIDE X 2" DEEP RECESS RECESS TO BE VENEERED WITH MATCHING THIN BRICK H. 6" DEEP X 2" WIDE VERTICAL ALUMINUM LOUVERS @
- 5-1/4" MAX O.C. LOUVERS PREFINISHED CLEAR ANODIZED - MUST MEET 200LB PEDESTRIAN GUARDRAIL STANDARDS
- I. 1' WIDE X 3" DEEP RECESS
- J. 1' WIDE X 2" DEEP RECESS
- K. 1' WIDE X 1" DEEP RECESS RECESS TO BE VENEERED WITH MATCHING THIN BRICK
- NOTE: "PJ" = PANEL JOINT (AKA EXPANSION JOINT)
 - "CJ" = STANDARD CONTROL JOINT
 - "ES" = EXTERIOR SCONCE, REF. ELECT.



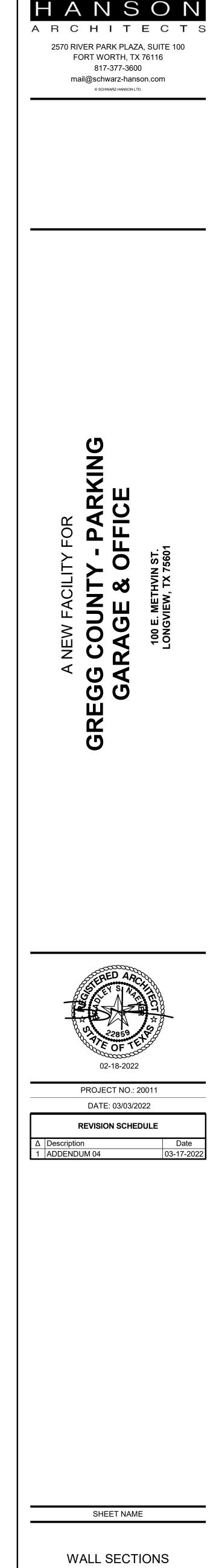






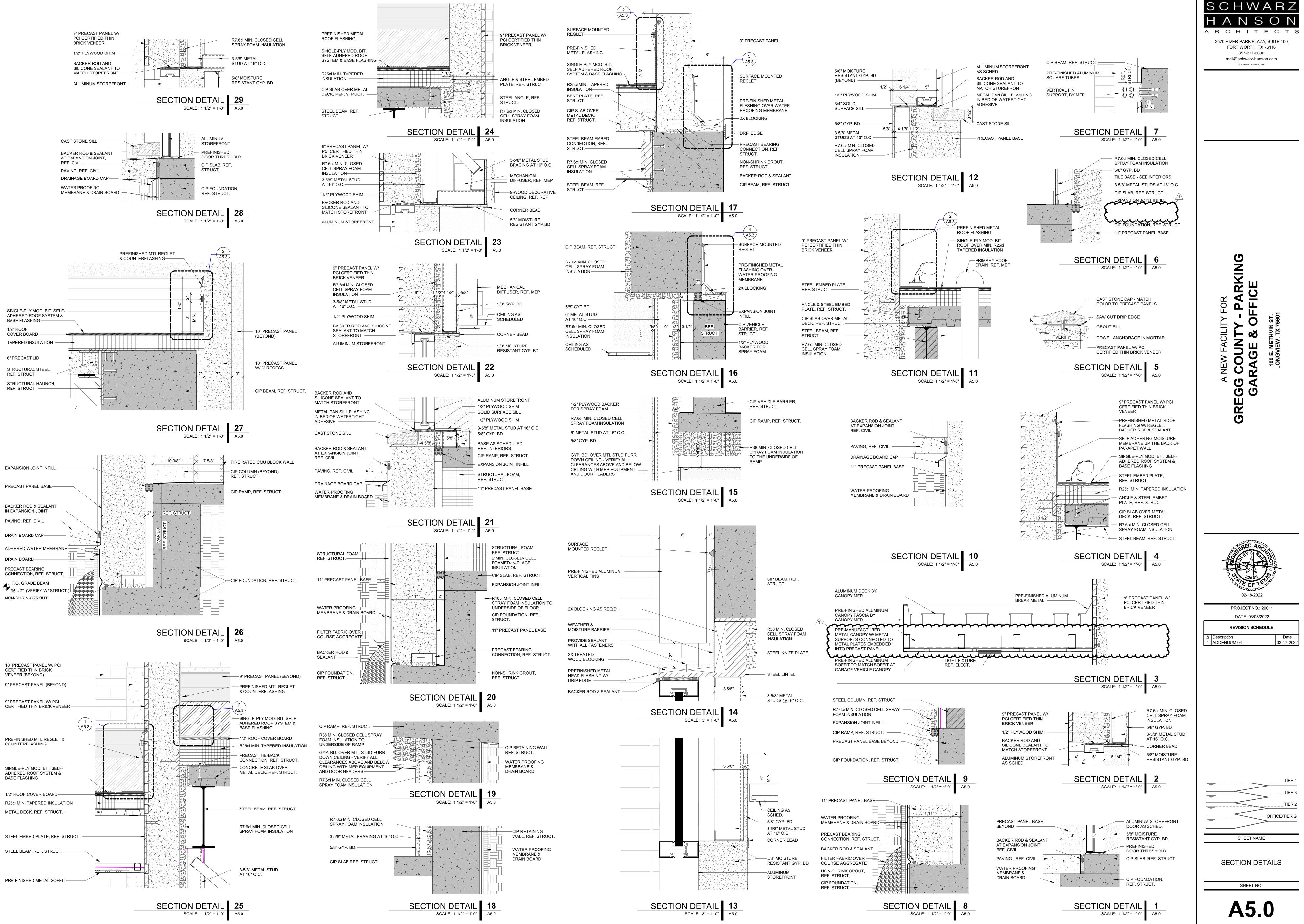


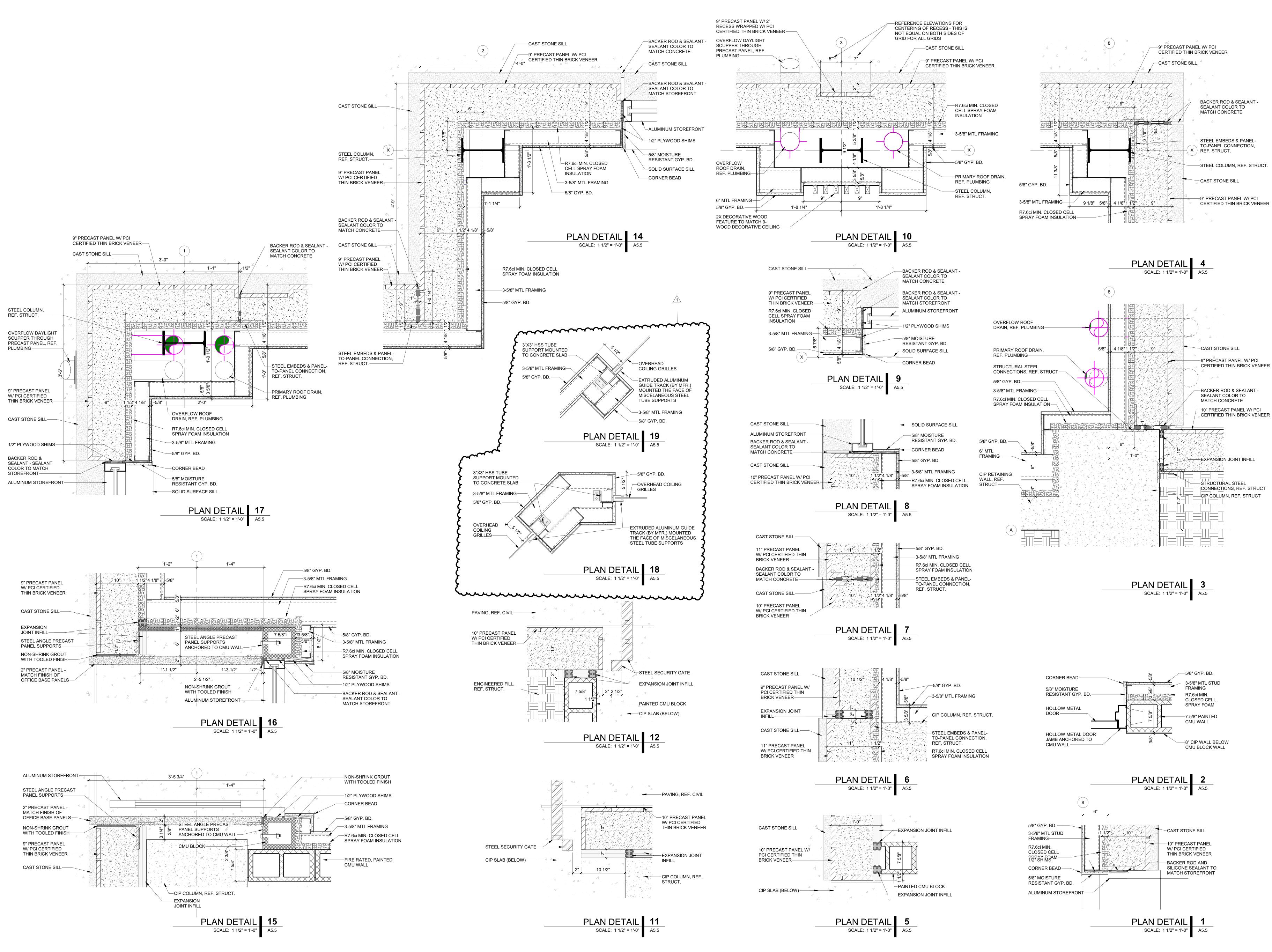
SCHWARZ



SHEET NO.











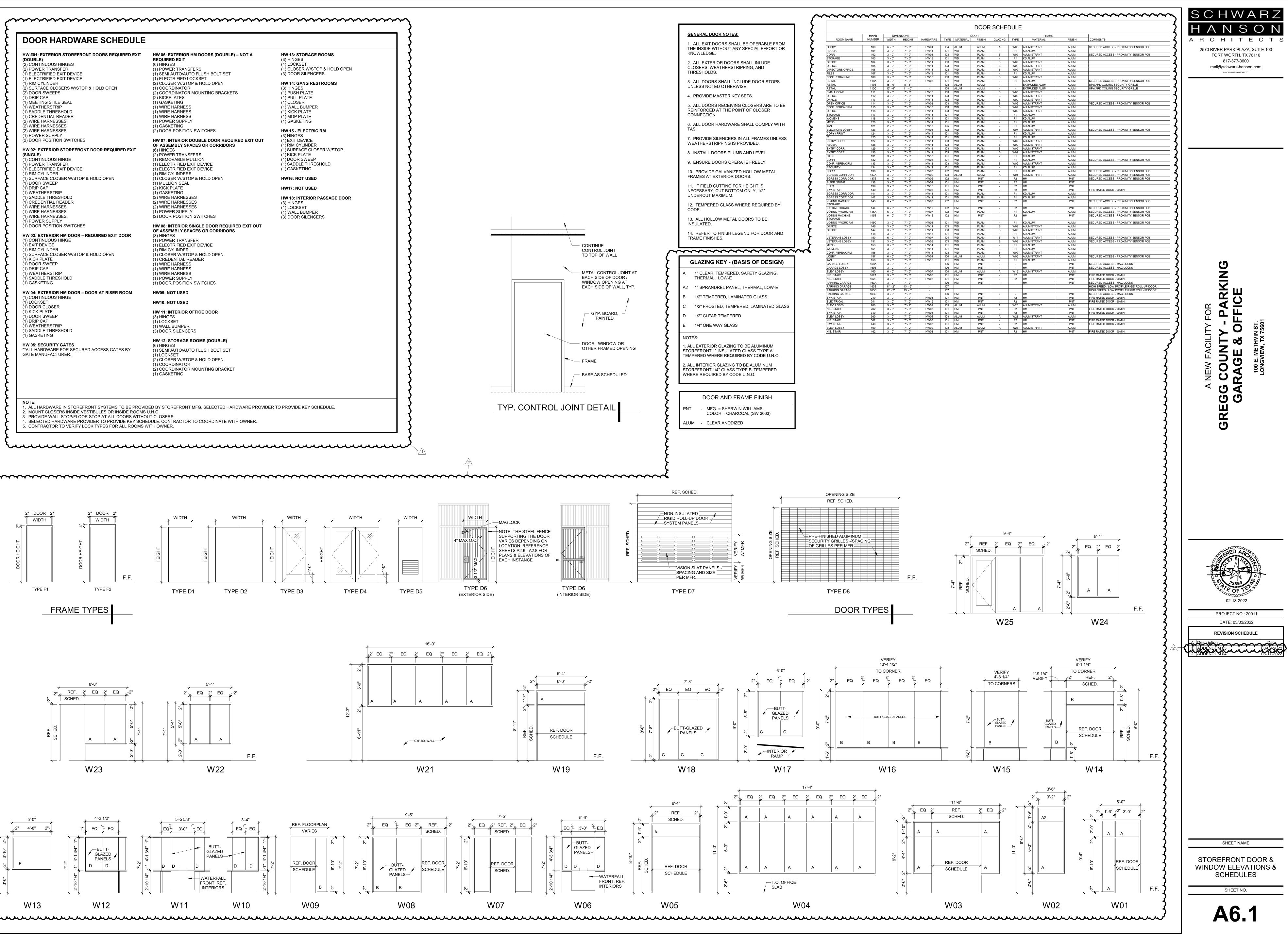
02-18-2022 PROJECT NO.: 20011 DATE: 03/03/2022 **REVISION SCHEDULE** Date 03-17-2022 ∆ |Description 1 ADDENDUM 04

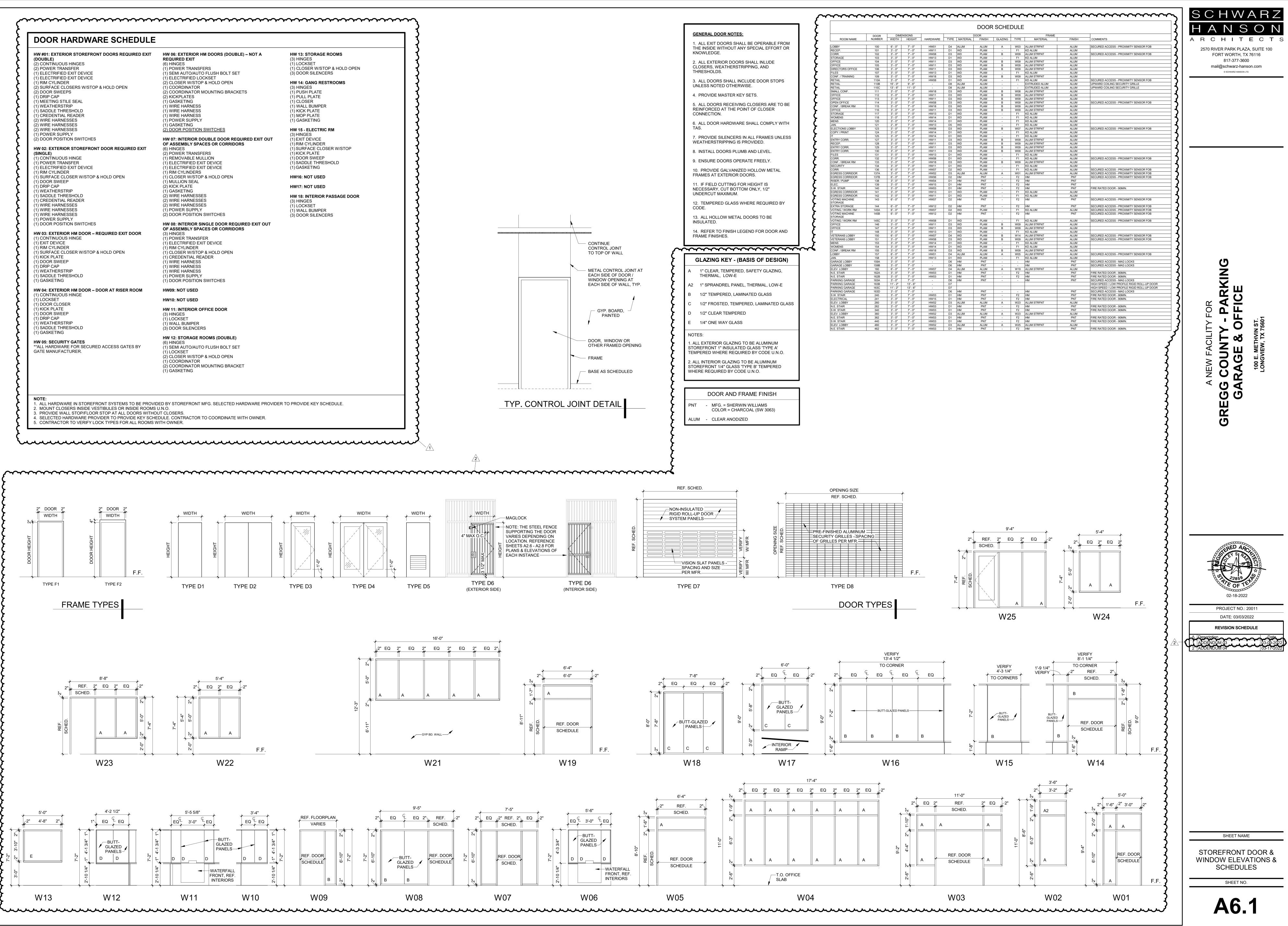
	TIER 4
	TIER 3
	TIER 2
	OFFICE/TIER G
SHEET NA	ME

PLAN DETAILS

SHEET NO.







	<u> </u>								DOOR SCHEDULE							
	ROOM NAME	DOOR NUMBER	DIM	ENSIONS HEIGHT	HARDWARE	TYPE	MATERIAL	DOOR FINISH	GLAZING	TYPE	FRAME	FINISH	COMMENTS			
RABLE FROM . EFFORT OR	LOBBY	100	6' - 0"	7' - 0"	HW01	D4	ALUM	ALUM	A	W03	ALUM STRFNT	ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB			
EFFORTOR	RECEP.	101	3' - 0"	7' - 0"	HW11	D1	WD	PLAM	-	F1	KD ALUM	ALUM				
	CORR. STORAGE	102	3' - 0" 3' - 0"	7' - 0" 7' - 0"	HW08 HW13	D3 D1	WD WD	PLAM PLAM	B -	W09 F1	ALUM STRFNT KD ALUM	ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB			
LUDE	OFFICE	103	3' - 0"	7' - 0"	HW13	D3	WD	PLAM	B	W09	ALUM STRFNT	ALUM				
ND	OFFICE	105	3' - 0"	7' - 0"	HW11	D3	WD	PLAM	В	W09	ALUM STRFNT	ALUM				
	DIRECTORS OFFICE FILES	106	3' - 0" 3' - 0"	7' - 0" 7' - 0"	HW11 HW13	D3 D1	WD WD	PLAM PLAM	B -	W09 F1	ALUM STRFNT KD ALUM	ALUM				
	CONF. / TRAINING	107	3' - 0"	7' - 0"	HW13	D3	WD	PLAM	В	W09	ALUM STRFNT	ALUM				
OR STOPS	RETAIL	110A	3' - 0"	7' - 0"	HW08	D1	WD	PLAM	-	F1	KD ALUM	ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB			
	RETAIL	110B 110C	15' - 0" 13' - 6"	9' - 6" 11' - 0"	-	D8 D8	ALUM	ALUM	-	-	EXTRUDED ALUM	ALUM	UPWARD COILING SECURITY GRILLE UPWARD COILING SECURITY GRILLE			
	SMALL CONF.	111	3' - 0"	7' - 0"	- HW18	D3	WD	PLAM	В	- W08	ALUM STRFNT	ALUM				
	OFFICE	112	3' - 0"	7' - 0"	HW11	D3	WD	PLAM	В	W09	ALUM STRFNT	ALUM				
		113	3' - 0"	7' - 0"	HW11	D3	WD	PLAM	B	W09	ALUM STRFNT	ALUM				
S ARE TO BE	OPEN OFFICE CONF. / BREAK RM	114	3' - 0"	7' - 0" 7' - 0"	HW08 HW18	D3 D3	WD WD	PLAM PLAM	B	W09 W09	ALUM STRFNT ALUM STRFNT	ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB			
SER	OFFICE	116	3' - 0"	7' - 0"	HW11	D3	WD	PLAM	B	W09	ALUM STRFNT	ALUM				
	STORAGE	117	3' - 0"	7' - 0"	HW13	D1	WD	PLAM	-	F1	KD ALUM	ALUM				
	WOMENS MENS	118	3' - 0" 3' - 0"	7' - 0" 7' - 0"	HW14 HW14	D1 D1	WD WD	PLAM PLAM	-	F1 F1	KD ALUM KD ALUM	ALUM				
MPLY WITH	JAN.	120	2' - 8"	7' - 0"	HW14	D1 D5	WD	PLAM	-	F1	KD ALUM	ALUM				
	ELECTIONS LOBBY	123	3' - 0"	7' - 0"	HW08	D3	WD	PLAM	В	W07	ALUM STRFNT	ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB			
	COPY / PRINT	124	3' - 0"	7' - 0"	HW14	D1	WD	PLAM	-	F1	KD ALUM	ALUM				
IES UNLESS	ENTRY CORR.	125	3' - 0" 3' - 0"	7' - 0" 7' - 0"	HW14 HW11	D1 D3	WD WD	PLAM PLAM	- B	F1 W09	KD ALUM ALUM STRFNT	ALUM				
	RECEP.	127	3' - 0"	7' - 0"	HW11	D3	WD	PLAM	B	W09	ALUM STRENT	ALUM				
	ENTRY CORR.	129	3' - 0"	7' - 0"	HW11	D3	WD	PLAM	В	W09	ALUM STRFNT	ALUM				
EL.	ENTRY CORR.	130	3' - 0"	7' - 0"	HW11	D3	WD	PLAM	В	W09	ALUM STRFNT	ALUM				
	FILES CORR.	131	3' - 0" 3' - 0"	7' - 0" 7' - 0"	HW13 HW08	D1 D1	WD WD	PLAM PLAM	-	F1 F1	KD ALUM KD ALUM	ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB			
Υ.	CONF. / BREAK RM	132	3' - 0"	7' - 0"	HW18	D3	WD	PLAM	В	W09	ALUM STRFNT	ALUM				
	SECURITY	134	3' - 0"	7' - 0"	HW11	D1	WD	PLAM	-	F1	KD ALUM	ALUM				
METAL	CORR.	136	6' - 0"	7' - 0"	HW07	D2	WD	PLAM	-	F1		ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB			
	EGRESS CORRIDOR EGRESS CORRIDOR	137A 137B	3' - 0"	7' - 0" 7' - 0"	HW02 HW06	D3 D2	ALUM HM	ALUM PNT	A _	W01 F2	ALUM STRFNT	ALUM PNT	SECURED ACCESS - PROXIMITY SENSOR FOB SECURED ACCESS - PROXIMITY SENSOR FOB			
	RISER / PUMP	138	3' - 0"	7' - 0"	HW04	D1	HM	PNT	-	F2	HM	PNT				
	ELEC.	139	3' - 0"	7' - 0"	HW15	D1	HM	PNT	-	F2	HM	PNT				
"	S.W. STAIR EGRESS CORRIDOR	140	3' - 0" 3' - 0"	7' - 0" 7' - 0"	HW03 HW13	D1	HM	PNT PLAM	-	F2	HM KD ALUM	PNT ALUM	FIRE RATED DOOR - 90MIN.			
	EGRESS CORRIDOR	141	3 - 0"	7 - 0	HW13 HW11	D1 D1	WD WD	PLAM	-	F1 F1	KD ALUM	ALUM				
	VOTING MACHINE	143	6' - 0"	7' - 0"	HW07	D2	HM	PNT	-	F2	HM	PNT	SECURED ACCESS - PROXIMITY SENSOR FOB			
IRED BY	STORAGE	144	6' - 0"	7' - 0"		D2		DNT		E2	HM	DNT				
	EXTRA STORAGE VOTING / WORK RM	144 145A	6' - 0"	7' - 0"	HW12 HW07	D2 D2	HM WD	PNT PLAM	-	F2 F1	KD ALUM	PNT ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB SECURED ACCESS - PROXIMITY SENSOR FOB			
	VOTING MACHINE	145B	6' - 0"	7' - 0"	HW12	D2	HM	PNT	-	F2	HM	PNT	SECURED ACCESS - PROXIMITY SENSOR FOB			
BE		1450	3' - 0"	7' - 0"	HW08	D1		PLAM		F 1	KD ALUM	ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB			
	VOTING / WORK RM OFFICE	145C 146	3 - 0"	7 - 0	HW08 HW11	D1 D3	WD WD	PLAM	- B	F1 W09	ALUM STRFNT	ALUM	SECORED ACCESS - PROXIMITY SENSOR FOB			
	OFFICE	147	3' - 0"	7' - 0"	HW11	D3	WD	PLAM	B	W09	ALUM STRFNT	ALUM				
OOR AND	IT	148	3' - 0"	7' - 0"	HW13	D1	WD	PLAM	-	F1	KD ALUM	ALUM				
	VETERANS LOBBY VETERANS LOBBY	150 151	6' - 0" 3' - 0"	7' - 0" 7' - 0"	HW07 HW08	D4	WD WD	PLAM PLAM	B	W14 W09	ALUM STRFNT ALUM STRFNT	ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB SECURED ACCESS - PROXIMITY SENSOR FOB			
	MENS	151	3'-0"	7' - 0"	HW08 HW14	D3 D1	WD	PLAM	- D	F1	KD ALUM	ALUM				
	WOMENS	154	3' - 0"	7' - 0"	HW14	D1	WD	PLAM	-	F1	KD ALUM	ALUM				
	CONF. / BREAK RM	155	3' - 0"	7' - 0"	HW18	D3	WD	PLAM	В	W09	ALUM STRFNT	ALUM				
	LOBBY JAN.	157 158	6' - 0" 3' - 0"	7' - 0" 7' - 0"	HW01 HW13	D4 D1	ALUM WD	ALUM PLAM	A -	W05 F1	ALUM STRFNT KD ALUM	ALUM	SECURED ACCESS - PROXIMITY SENSOR FOB			
ESIGN)	GARAGE LOBBY	159A	3' - 0"	7' - 0"	-	D1 D6	HM	PNT	-	-	HM	PNT	SECURED ACCESS - MAG LOCKS			
 	GARAGE LOBBY	159B	3' - 0"	7' - 0"	-	D6	HM	PNT	-	-	HM	PNT	SECURED ACCESS - MAG LOCKS			
ZING,	ELEV. LOBBY	160	6' - 0"	7' - 0"	HW07	D4	ALUM	ALUM	A	W19	ALUM STRFNT HM	ALUM				
- ,	N.E. STAIR N.E. STAIR	162A 162B	3' - 0" 3' - 0"	7' - 0" 7' - 0"	HW03 HW03	D1 D1	HM HM	PNT PNT	-	F2 F2	HM	PNT PNT	FIRE RATED DOOR - 90MIN. FIRE RATED DOOR - 90MIN.			
	PARKING GARAGE	162B	3' - 0"	7' - 0"	-	D6	HM	PNT	-	-	HM	PNT	SECURED ACCESS - MAG LOCKS			
ЭW-Е	PARKING GARAGE	163B	11' - 2"	13' - 6"	-	D7							HIGH SPEED / LOW PROFILE RIGID ROLL-UP DO			
-	PARKING GARAGE	163C	11' - 2"	13' - 6"	-	D7	1.15.4	DNT			1184	DNT	HIGH SPEED / LOW PROFILE RIGID ROLL-UP DO			
S	PARKING GARAGE S.W. STAIR	163D 240	3' - 0" 3' - 0"	7' - 0" 7' - 0"	- HW03	D6 D1	HM	PNT PNT	-	- F2	HM HM	PNT PNT	SECURED ACCESS - MAG LOCKS FIRE RATED DOOR - 90MIN.			
	ELECTRICAL	240	3' - 0"	7' - 0"	HW15	D1	HM	PNT	-	F2	HM	PNT	FIRE RATED DOOR - 90MIN.			
ATED GLASS	ELEV. LOBBY	260	3' - 0"	7' - 2"	HW02	D3	ALUM	ALUM	A	W23	ALUM STRFNT	ALUM				
	N.E. STAIR	262	3' - 0"	7' - 0"	HW03	D1	HM	PNT	-	F2	HM	PNT	FIRE RATED DOOR - 90MIN.			
	S.W. STAIR ELEV. LOBBY	340 360	3' - 0" 3' - 0"	7' - 0" 7' - 2"	HW03 HW02	D1 D3	HM ALUM	PNT ALUM	- A	F2 W23	HM ALUM STRFNT	PNT ALUM	FIRE RATED DOOR - 90MIN.			
	N.E. STAIR	362	3' - 0"	7' - 0"	HW02	D3	HM	PNT	-	F2	HM	PNT	FIRE RATED DOOR - 90MIN.			
	S.W. STAIR	440	3' - 0"	7' - 0"	HW03	D1	НМ	PNT	-	F2	HM	PNT	FIRE RATED DOOR - 90MIN.			
	ELEV. LOBBY	460	3' - 0"	7' - 2"	HW02	D3	ALUM	ALUM	A	W25	ALUM STRFNT	ALUM				
	N.E. STAIR	462	3' - 0"	7' - 0"	HW03	D1	HM	PNT	-	F2	HM	PNT	FIRE RATED DOOR - 90MIN.			
/INUM YPE A'																
DE U.N.O.																
INUM																

